

STATEMENT OF ENVIRONMENTAL EFFECTS

FOR

Redevelopment of the “*Opal Bossley Park*” Aged Care Site
to a 132 bedroom/151 beds Residential Aged Care Facility

At

56 Quarry Road, BOSSLEY PARK



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Under instruction from:

Signature Project Management
for



28th June 2018

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1.0 Introduction

This Statement of Environmental Effects has been prepared by *Levy Planning* under instruction from Signature Project Management (SPM) on behalf of Opal to replace their existing Residential Aged Care Facility (RACF) at Bossley Park.

Opal Aged Care has grown to be one of Australia's largest aged care providers, caring for the needs of thousands of seniors across the country, offering a suite of support services, catering to all levels of care. Staff are committed to providing quality care collaborating with the resident, family and health professionals to deliver personalised programs which cater to the needs of each individual. This ensures residents receive the care they require in a sensitive, dignified manner. Opal's aged care facilities offer a wide range of service offerings including personalised lifestyle programs, on site chefs, allied health support and in-house salon.

The development site is zoned R2 Residential Low Density and the use for aged care "seniors housing" is permissible under both Fairfield Local Environmental Plan 2013 (*FLEP2013*) and State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004 (*SEPP Seniors*). Where there is an inconsistency (eg FSR, height), the SEPP prevails.

The existing Opal Aged Care facility comprises an approved 100-bed (within 35 wards/bedrooms) residential aged care facility on a **7,528m²** lot with frontages to Quarry Road and Turquoise Crescent. The site consists of a battle-axed entry from Quarry Road. Vehicular access has been historically provided off Quarry Road, although there is no (legal) access denial to Turquoise Crescent.

The proposed scheme involves the demolition of the existing single storey RACF and construction of a part 2 and part 3 storey RACF to address the need for additional aged care accommodation within a more modern purpose-built facility. The new RACF will incorporate 132 bedrooms containing 151 beds and ancillary common living areas and facilities, with car/ambulance and a covered porte cochere accessed via two-way driveway access off Quarry Road. Separate wheelchair accessible pathways are provided between the main entry and the Quarry Road street frontage.

The development is designed to facilitate the retention of four (4) of six (6) *Eucalyptus Moluccana* (Grey Box) trees located in the north-eastern corner and to reduce potential bushfire risks associated with the "Bossley Road Reserve" located to the south-west. The proposed RACF is designed with regard to neighbour privacy so that walls located closest to northern and eastern boundaries do not have bedroom windows in close proximity that are oriented to those boundaries. Where required in some minor instances, external privacy louvres are provided to end corridor windows sited within 3.9m-4.85m of the northern boundary, to ensure no overlooking issues to neighbour rear yards.

The document is arranged as follows:

Section 1 outlines the overview of the report and the structure;

Section 2 describes the site and context;

Section 3 provides a response to the Pre-DA consultation;

Section 4 outlines the details of the proposed development;

Section 5 outlines the applicable statutory controls and policy and provides an assessment of the proposed development pursuant to Section 4.15 (formerly 79C) of the EP&A Act; and

Section 6 provides the conclusions.

2.0 Site Description and Location

2.1 Subject Site

The Opal Aged Care site at 56 Quarry Road has a site area of **7528m²** and a frontage to both Quarry Road (**16.43m**) and Turquoise Crescent (**22m**) as denoted on **Figure 1**. The property comprises one consolidated parcel of land known as Lot 8 DP 713734.

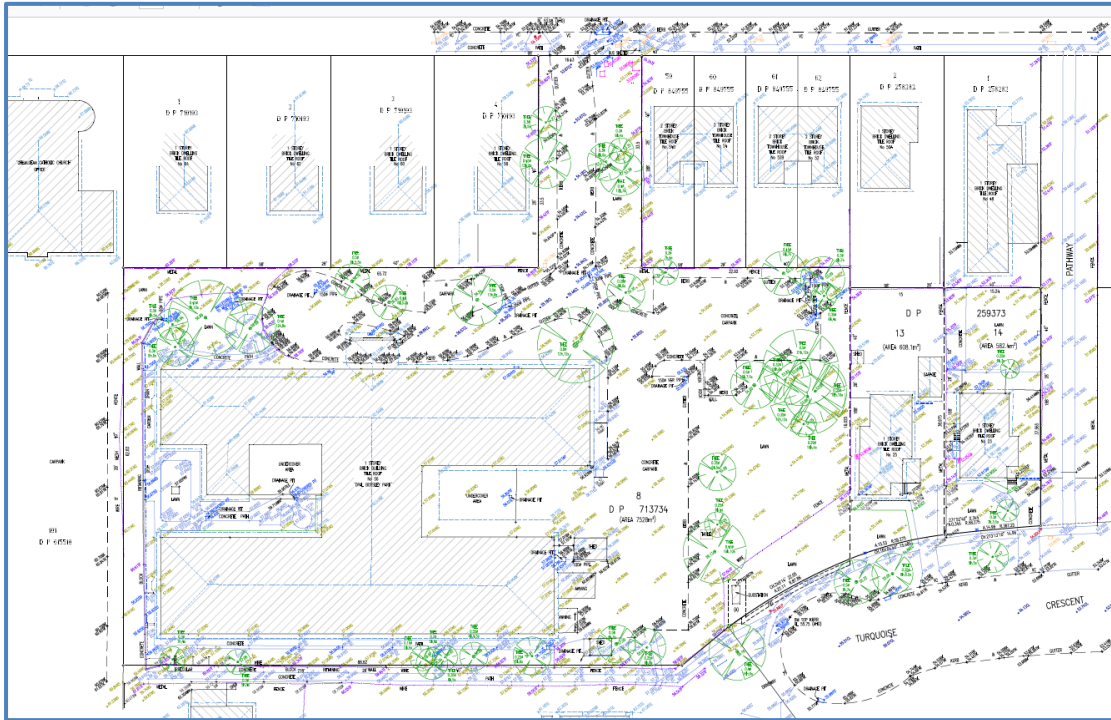


Figure 1 – Extract Site Survey by Linker Surveying

The site's frontage to Quarry Road (16.43m width) provides vehicular access to the site that currently comprises an approved 35 ward/bedroom single storey aged care facility for 100 residents including those with dementia. There is currently at-grade parking for approximately 40 cars plus ambulance parking within the porte cochere. The majority of the existing aged care beds are provided within shared rooms, with most comprising 4 beds per room.

The site's 22m frontage to Turquoise Crescent is located at the south-eastern boundary. Turquoise Crescent is a cul-de-sac with the subject RACF site located at the terminus. The carriageway is approximately 13m wide (kerb to kerb) within a 24m road reserve. There are paved pedestrian pathways along both sides of the road. There is currently no direct vehicular access from No 56 Quarry Road property into the cul-de-sac, although there is no legal impediment on title to denying access. There is an existing substation on the site adjacent to this south-western frontage.

There is a fall over the main part of the site from west (approx. RL 57.00) to north-east corner and street frontage (approx. RL53.00). The land on the western boundary has been excavated so that the original ground levels along the western boundary fence-line are significantly higher at RL 60.00-RL60.90 with a 3m height masonry retaining wall a few metres inside the western boundary. The site contains a number of trees including a group of Grey Box eucalypts along the eastern portion of the site, several within the driveway entry (northern portion), north-west corner and the eastern side (abutting No 25 Turquoise Crescent property). Refer **Annexure 1** Site Survey and photographs below.



Figure 2 - View from Turquoise Crescent cul-de-sac looking at the substation and existing RACF in the background



Figure 3: View to north over existing access driveway to Quarry Road



Figure 4: View to the north-eastern corner of the property showing parking & significant trees

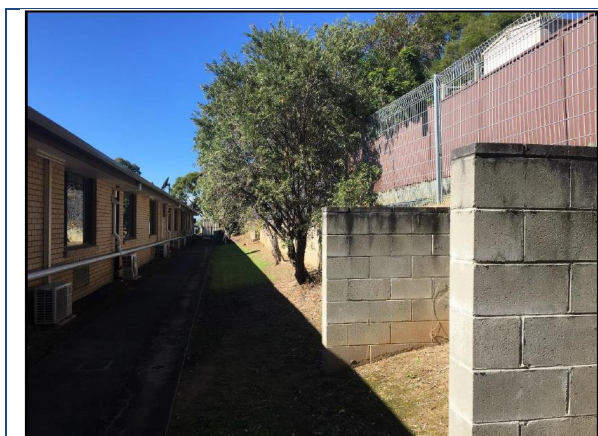


Figure 5: South elevation of the RACF Site illustrating the existing modified ground level and retaining wall



Figure 6: South elevation of the RACF Site illustrating the existing modified ground level and retaining wall

2.2 Adjoining Development

The site is located in an area with a mix of development types including single dwellings (north and south-east), attached dual occupancies (east along Quarry Road), multi-unit seniors housing (south), a church property (west) and school with bushland reserve that is proximate to the south-west corner of the site.



Figure 7 – Aerial Photo with No 56 Quarry Road RACF site outlined in red

Source: Jackson Teece

The site is surrounded by the following properties;

Properties to the North of the Subject Site and Quarry Road

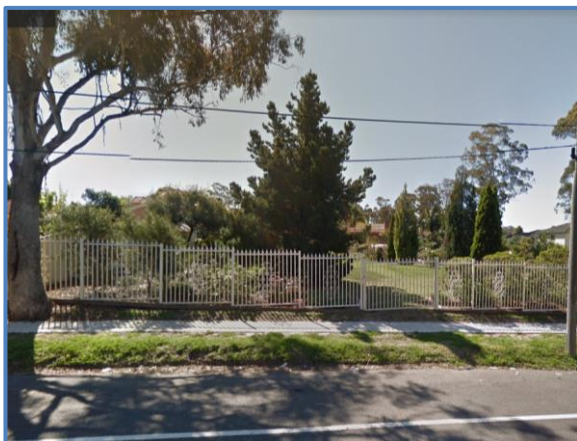


Figure 8: Properties opposite the site entry comprise No 39 Quarry Road (a large lot residential property)



Figure 9 No 45 Quarry Road villa/townhouse development diagonally opposite RACF entry



Figure 10: No 54A/54B and No 52A/52B attached dual occupancies adjoin the northern boundary of No 56 Quarry Road, immediately to the north of the RACF carpark.



Figure 11: Single storey dwellings adjoin the northern boundary of No 56, immediately to the north of the RACF building.

Properties to the South of the Subject Site, adjoining Turquoise Crescent;

Turquoise Crescent is a cul-de-sac that services detached dwelling houses and a 1ha site comprising 32 x multi-unit seniors housing development ("Bossley Gardens"). The RACF Site is located at the terminus of the cul-de-sac as indicated in **Figure 12** below.



Figure 12: Single dwellings (1-2 storeys) front Turquoise Crescent with the RACF and Bossley Gardens townhouses located at the terminus of the cul-de-sac.

"Bossley Gardens" Seniors Housing Site at No 26 Turquoise Crescent adjoins the southern boundary of the RACF. The seniors village is separated from the RACF site by a fenced pedestrian pathway which extends along (and within) the entire northern boundary of No 26 "Bossley Gardens" site. The path has a stairway link at the western end providing a pedestrian link between Bossley Park School/the "Bossley Road Reserve" (a public reserve) and Turquoise Crescent. Both the "Bossley Gardens" development and the subject RACF have a gated pedestrian access to this pathway.

There is a 2 storey "Bossley Gardens" community facility building located mid way along the neighbouring site's northern boundary (Refer **Figure 13 & Figure 15**). The existing RACF site has been excavated in the western part of the site, so that the single storey Bossley Park villas at the west of No 26 are elevated above the RACF property and separated by the pedestrian pathway (Refer **Figure 14**).

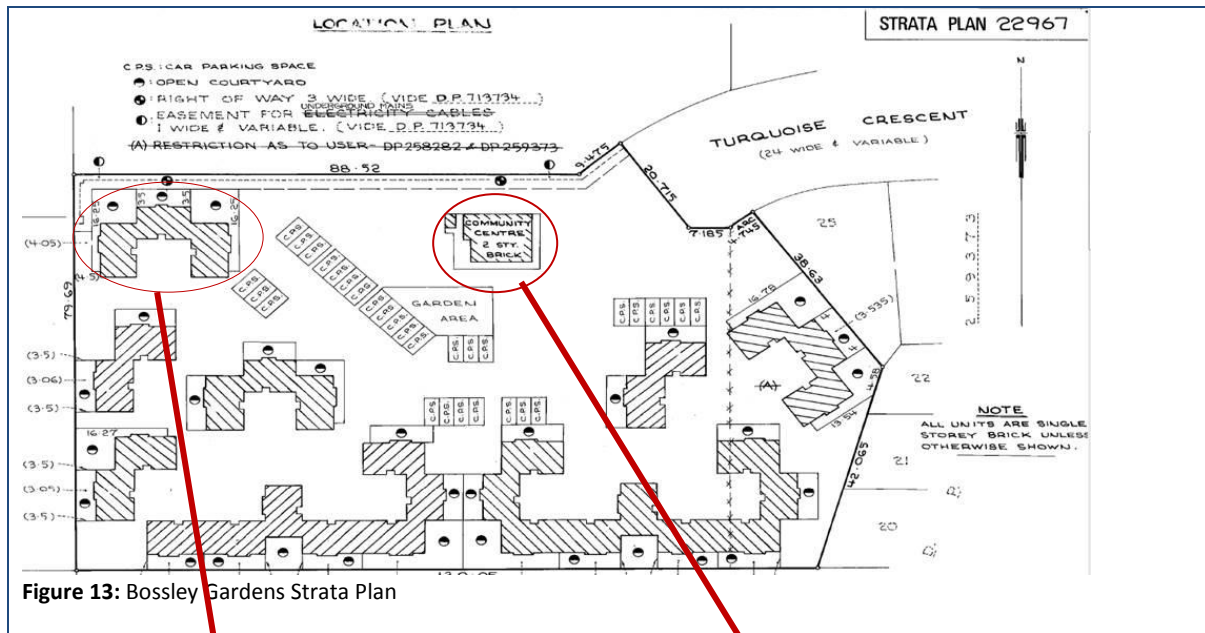


Figure 13: Bossley Gardens Strata Plan



Figure 14 – Bossley Gardens in the north-western part of the neighbouring site, adjacent to excavated RACF property

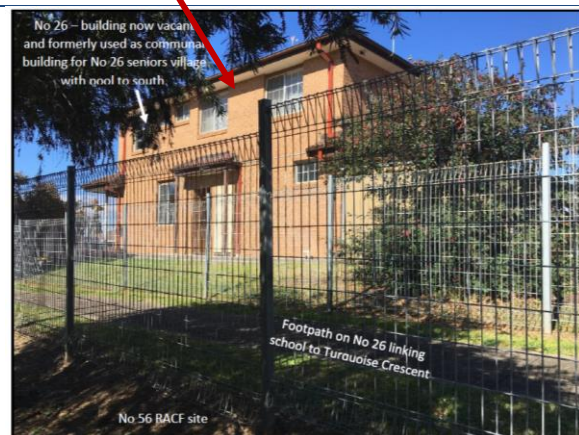


Figure 15 – Bossley Gardens at the north of the neighbouring site, showing the communal building that is currently vacant.

Property to the East of the Subject Site, adjoining Turquoise Crescent:

No.25 Turquoise Crescent adjoins the site's eastern boundary. Views towards the adjacent property are provided in **Figure 16** and **Figure 17** below.



Figure 16: View towards No 25 Turquoise Crescent residence from the RACF carpark



Figure 17: – No 25 Turquoise Crescent adjoining RACF site

Properties adjacent to the Western Side Boundary;

Adjacent to the western side boundary is the *Chaldean Catholic Church* at 66-78 Quarry Road. The Church buildings comprise an elevated 2 storey building at the north-east corner (abutting No 64 Quarry Road residence) and a paved carpark that abutts the entire western boundary of the RACF site. The RACF site has been excavated so that a 3m+ retaining wall on the western boundary of the RACF site results in the Church carpark level being some 3m above that of the adjacent RACF.

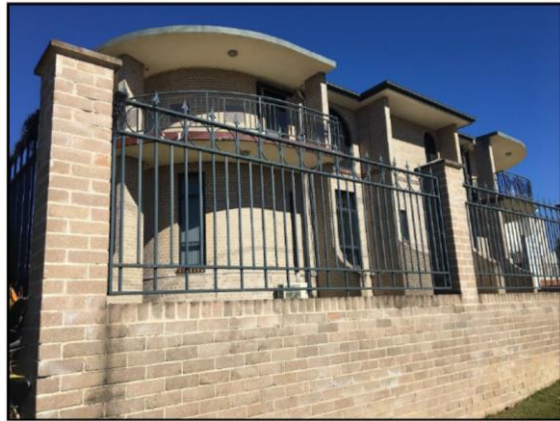


Figure 18: No 66-78 Church property NE Corner



Figure 19: Church Property and Driveway Entrance



Figure 20 – No 56 RACF site (west boundary)

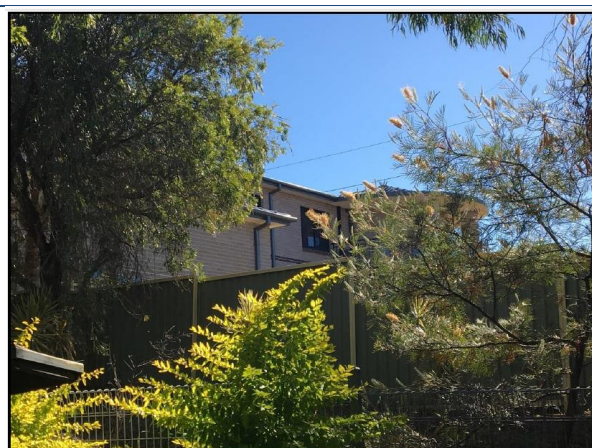


Figure 21 – RACF site looking NW to Church property

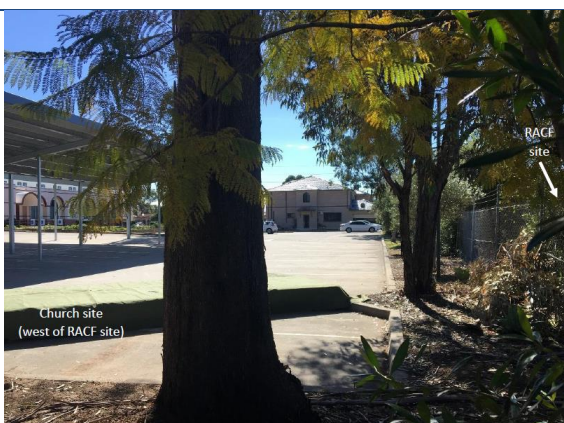


Figure 22 – Church site adjoining RACF west boundary

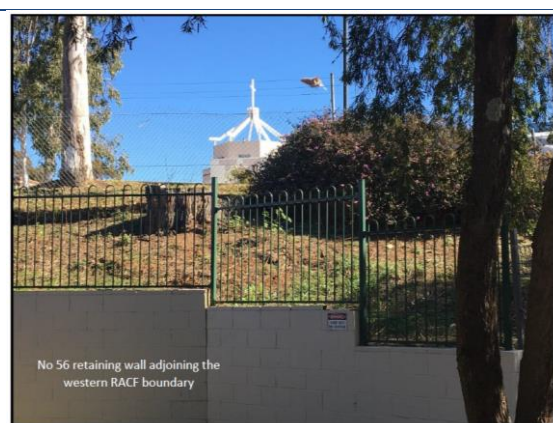


Figure 23 – Church site viewed from RACF western side

2.3 Public Transport Accessibility

A sealed pedestrian pathway along Quarry Road connects the main RACF entry to a west-bound bus stop that provides a link to Liverpool train station (Routes 806/808). The east bound return bus stop is located diagonally opposite the site and is accessed via a sealed relatively level pathway and a refuge crossing. The refuge crossing point on Quarry Road comprise box kerbing so that it would be necessary to construct pram ramps on the northern and southern kerbs to facilitate wheelchair access to the bus stop. Refer **Figure 24** below. The survey plan at **Annexure 1** includes details of this pathway gradients indicating SEPP Seniors cl 26 compliant grades (average gradient is 5%).

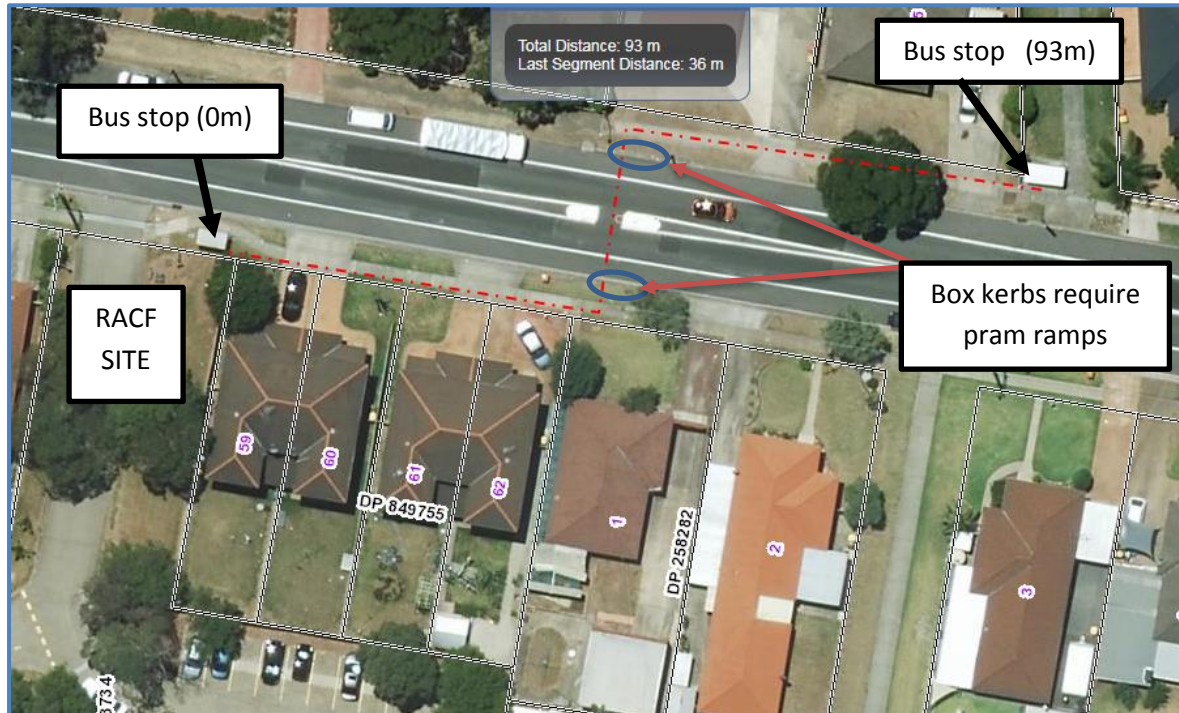


Figure 24 – Aerial photo showing site and distances to bus stops

Source: Sixmaps

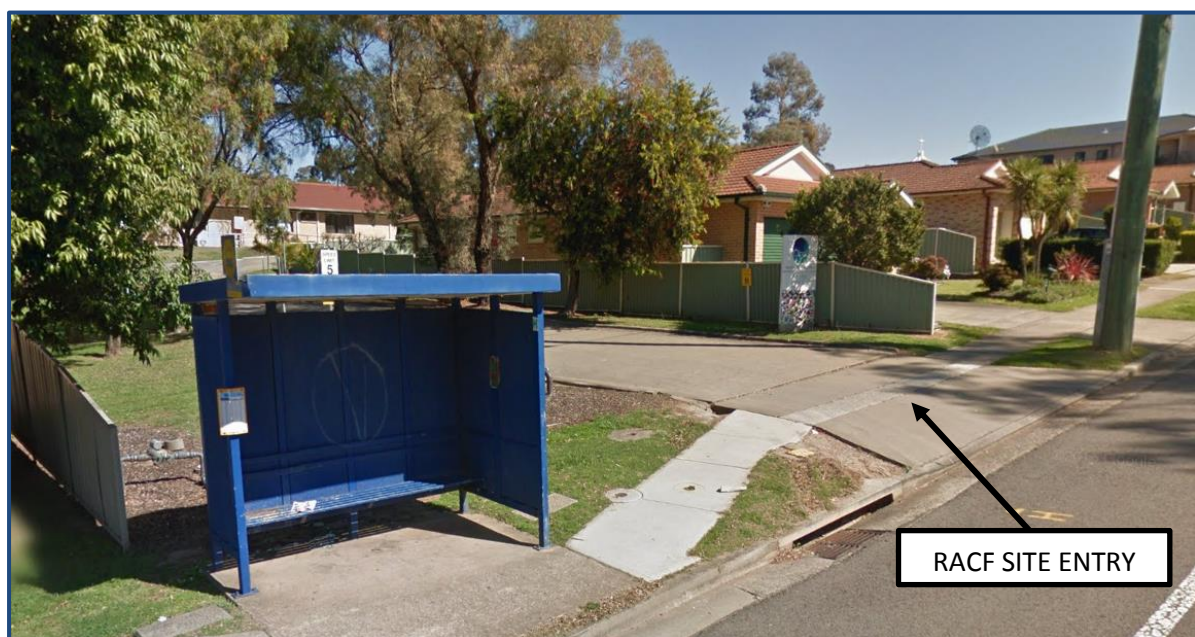


Figure 25 – Bus stop adjacent to the RACF property (56 Quarry Road)

2.4 Flora and Fauna

An arborist report which identifies all trees on/adjoining the site, has been prepared by Tree IQ, a copy of which is provided at **Annexure 5**. The site comprises thirty-seven (37) trees which have been assessed and comprise a mix of locally indigenous, Australian native and exotic species. A further seventeen (17) trees on adjoining properties were identified and identified alphabetically. Five trees were identified as undesirable species in Chapter 3 of Fairfild DCP. A small group of *Eucalyptus moluccana* (Grey Box) are located in the east of the site, which are a dominant canopy tree of the Cumberland Plains Woodland.

A flora and fauna assessment has been undertaken by *Cumberland Ecology* and is supportive of the proposal. A copy of the Ecology Report is provided at **Annexure 6**, which includes the below extracts;

Cumberland Plains Woodland (CPW) occurs in the form of a patch of six Eucalyptus moluccana (Grey Box) in the east of the subject site and conforms to the state listed Critically Endangered Ecological Community under the TSC Act. As the patch size of the community occurring in the subject site is less than 0.5 ha and the understorey is predominantly exotic, the community only conforms to the TSC Act listing, and not the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act) listing for the community. Cumberland Plains Woodland occurs in larger patches in the wider locality, including the patch south-west of the subject site located east of Bossley Park Public School. The remainder of the vegetation within the subject site consists of garden/landscaping and does not conform to any listed endangered ecological community.

There were no naturally occurring threatened fauna or flora species found within the subject site. Eucalyptus nicholii was found to be present on site. This species however, is not native to the Cumberland Plain and is likely to have been planted.

The Ecology Report concludes;

The majority of the proposed development will occur in areas of garden/landscaping and approximately 0.07 ha of this vegetation will be removed. The majority of the Cumberland Plain Woodland occurring on the subject site will be retained, and approximately 0.004 ha of this community will be removed, comprising two trees on the edge of the existing patch of this woodland.

The proposed development is considered unlikely to have a significant impact on any of the threatened species or ecological communities occurring, or that have the potential to occur within the subject site. Therefore, a Species Impact Statement or further ecological assessments are not required.

Although 0.004 ha of CPW will be removed, this comprises only two individuals from the edge of the patch. The CPW in the subject site consists only of canopy trees over a mown understorey and as such it has minimal conservation significance for this community. The majority of the patch will be retained and the loss of the individual canopy trees is not considered likely to have a significant impact on this community.

A Species Impact Statement or further ecological assessments are not required.

2.5 Bushfire Hazard

The 3 hectare mapped biodiversity area comprising Cumberland Plain Woodland on the adjoining “Bossley Road Reserve” to south-west of RACF site has recently been mapped on the Fairfield Bushfire Prone Land Map. A small section of the buffer (few square metres) is located in the SW corner of the RACF site (Refer **Figure 26** below). Seniors Housing is a “*Special Fire Protection Purpose*” so that it is captured by the requirements of EP&A Act Section 4.46 (formerly s91) and Section 100B of the Rural Fires Act. Accordingly the application will be submitted as “**Integrated Development**” with the required RFS referral fee. A Bushfire Report has been undertaken by Australian Bushfire Protection Planners which incorporated pre application consultation advices from the Rural Fire Service. A copy of the Bushfire Report and RFS advices is provided at **Annexure 10**.

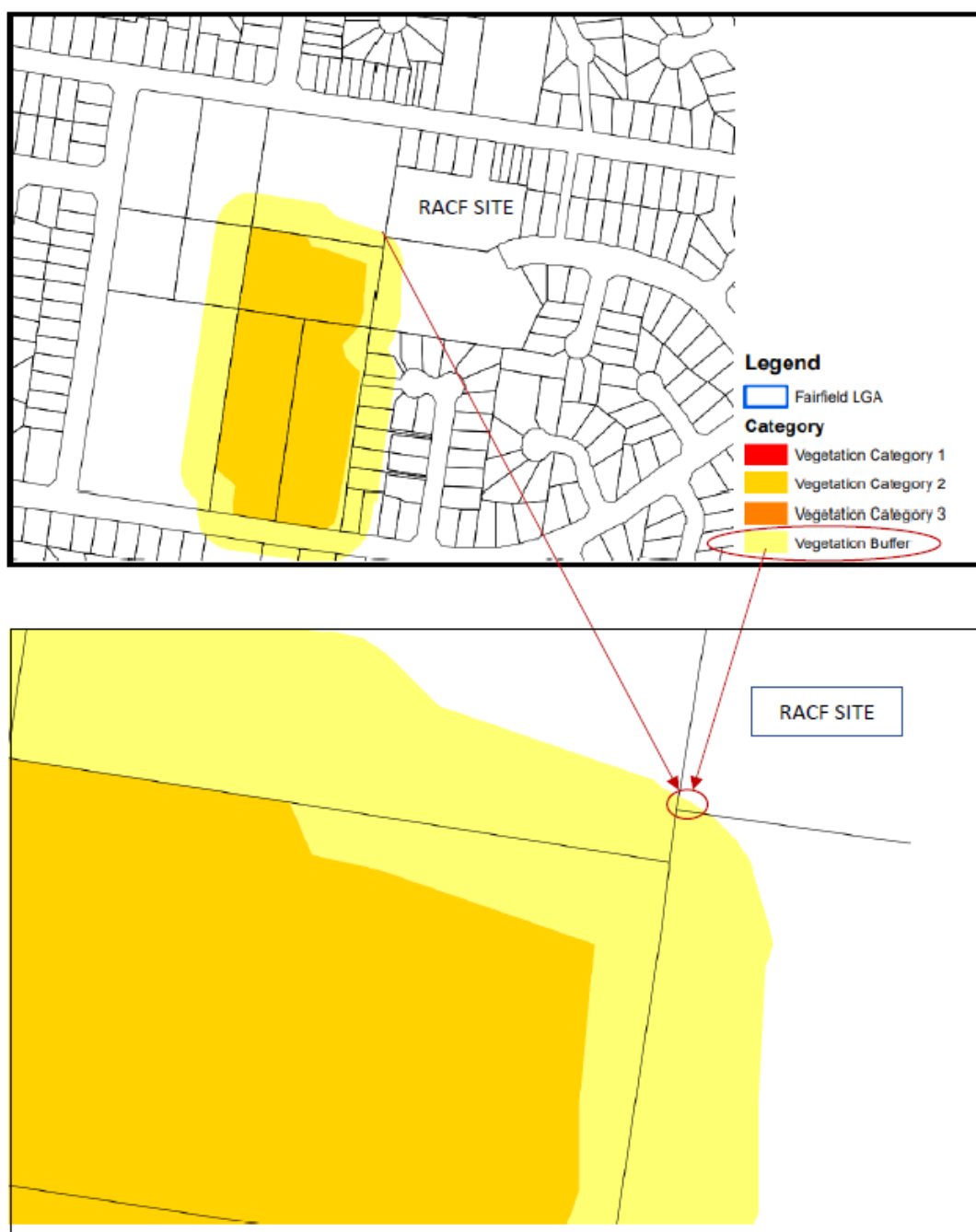


Figure 26 – Extract bushfire map (as amended December 2017)

3.0 Pre Development Application Advisory Meeting

A pre-DA meeting was undertaken at Fairfield Council on 27 March 2018. The pre-DA plans comprised 140 beds within 134 RACF bedrooms within a part 2 storey/ part 3 storey building. The current proposal has reduced the bedrooms to 132 bedrooms but has increased the “companion rooms” which comprise 2 beds, to achieve the 151 beds. Key items contained within the pre-DA minutes are addressed in **Table 1** below.

Pre-Lodgement Feedback	
Issue	Response
Introduction	
1. <i>Proposed 140 bed RACF is identified as ‘Integrated Development’ pursuant to Section 4.46 of the EP&A Act 1979 given the subject site is bush fire prone land under the Fairfield Bushfire Prone Land Map.</i>	Proposed design amended as per the preliminary advice provided by NSW Rural Fire Service (RFS) upon consultation prior DA lodgement. In principle RFS support for the proposal is provided at Annexure 10 .
Fairfield Local Environmental Plan 2013	
2. <i>Application to demonstrate that the proposal meets the definition of Seniors Housing and is consistent with the objectives prescribed for the zone.</i>	Assessment of proposal’s compliance with SEPP Seniors and zone objectives under sections 5.2 and 5.1 respectively of this Statement.
3. <i>Subject to Clause 4.6 (Exceptions to development standards) shall be submitted upon lodgement of the DA to support variation under the Fairfield LEP 2013.</i>	Clause 4.6- Request to vary Height control provided at Annexure 13 .
Planning Matters	
4. <i>The subject site is adjoined and is partially affected by bush fire prone land and is therefore listed as ‘Integrated Development’. Advice from NSW Rural Fire Services to be obtained prior to the lodgement of the DA as the RACF requires consent from the bush fire safety authorities.</i>	Preliminary consultation with RFS has been undertaken and required 31m setback to the corner of the reserve has been incorporated. Refer to Architectural Drawings prepared by Jackson Teece at Annexure 2 .
5. <i>The proposal exceeds 8m max height development standard pursuant to cl 40 of SEPP Seniors. Clause 4.6 to be addressed. Potential overshadowing impacts upon the development and neighbouring properties to be considered.</i>	Clause 4.6 request to vary 2 storey/8m height controls is attached at Annexure 13 . Overshadowing drawings including an elevation shadow impact for No 25 Turquoise Crescent residence are provided at Annexure 2 .
6. <i>The threatened Shale Plains Woodlands species identified along the north-east boundary of subject site require an Ecological Report and Arborist Report demonstrating any potential impacts of the proposed development on the subject species.</i>	Two (2) of the five (5) Cumberland Plains Woodlands identified on site are proposed to be removed while the remainder are retained and protected. <i>Ecological Report</i> prepared by <i>Cumberland Ecology</i> is provided at Annexure 6 and <i>Arborist Report</i> prepared by <i>Tree IQ</i> is provided at Annexure 5 . The landscape plan prepared by Taylor Brammer incorporates CWP plantings in the SE corner.

<p>7. Pursuant to cl 48(c), min 25m² landscaped area per proposed residential care bed, the site requires a minimum of 3,500m² of landscaped area. The applicant shall justify the circumstances of any reduced landscaping, due to setback restrictions as advised by NSW RFS, as a part of the DA.</p>	<p>The SEPP provides a deemed to comply required landscape area for 151 beds as follows;</p> <ul style="list-style-type: none"> 151 x 25m² = 3775m² landscape area. <p>The site area is 7528m². The landscape area has been designed around extensive landscaped gardens and has a series of central courtyards, extensive terraces & balconies that are directly linked to the communal spaces and collectively provide a total of 2746m² of landscaped area which comprises of 36% of the total site. This equates to a total of 18m² of landscaped area per RACF bed. Notably it achieves well in excess of the 30% landscape area required for other forms of seniors housing.</p> <p>Furthermore, the frail/aged nature of the residents limits the ability/desire to travel extended distances. Accordingly high care residents have a preference to access terraces/balconies and shaded internal courtyards which are located close to their bedroom. Hence, high quality spaces in accessible locations have a higher amenity value than larger areas of recreational gardens.</p> <p>The proposal provides a balance of internal courtyard gardens (open air recreation facilities), ground level landscaped areas, and terraces/balconies spread across each floor level which can be more readily accessed. The variety of recreation spaces available for residents and high quality of those spaces is more beneficial than simply achieving numerical compliance for a RACF.</p>
<p>8. A Dilapidation Report detailing the condition of the existing site and potential issues or impacts of any construction, excavation or demolition proposed for the development to be submitted as a part of the DA.</p>	<p>This will involve accessing 11 x neighbouring properties. Subsequent advices from council confirmed the Dilapidation Report can be addressed via a condition of consent.</p>
<p>9. Traffic report to demonstrate the development shall not impact servicing and parking arrangement of existing traffic flows within the surrounding street system.</p>	<p>A Traffic and Parking Report prepared by Colston Budd Rogers and Kafes Traffic Consultants is supportive of the proposal based on the minor impact of the proposed development on the exiting servicing and parking structure of traffic flows of the surrounding street system. Refer to Annexure 8.</p>
<p>10. An SEE required to be submitted providing full details of the proposal and addressing all matters for consideration under Section 4.15 of EP&A and demonstrating compliance with SEPP Seniors, Fairfield LEP 2013 and Fairfield City-Wide DCP 2013.</p>	<p>A detailed SEE S4.15 assessment of the proposal against the relevant planning controls has been prepared by Levy Planning in consultation with the respective consultants.</p>
<p>11. Cost Report by qualified quantity surveyor to be submitted as part of DA.</p>	<p>Cost Report prepared by WT Partnership accompanies the Development Application.</p>

12. A detailed Landscape Plan prepared in accordance to Appendix F- Landscape Planning of the Fairfield City Wide DCP 2013 to be submitted.	Detailed Landscape Plans & Landscape Design Statement prepared by Taylor Brammer Landscape Architects is provided at Annexure 3 .
13. Acoustic Report providing full details of any potential noise and acoustic impacts that may be caused to the adjacent residential properties and neighbourhood to be submitted.	A detailed Acoustic Report assessing the impacts of the proposed development on the adjoining properties (including larger vehicles) has been prepared by Acoustic Logic. Refer to Annexure 14 .
14. Loading/unloading bays, car parking and swept paths for the largest vehicles used for operations of the site shall be indicated on the plans submitted.	Turning radius paths for the flow of traffic within the proposed development are clearly indicated in the attachments to the Traffic Report at Annexure 8 .
Engineering Matters	
15. A stormwater Drainage Concept Plan for the proposed development is to be submitted in accordance with Council's Stormwater Management Policy (September 2017). Drainage design shall incorporate an OSD system.	A Stormwater Drainage design prepared by Henry & Hymas Consulting Engineers is in accordance with Council's Stormwater Management Policy and this includes the OSD system on the northern side of the RACF within the driveway area. Refer to civil plans and Civil Design Statement at Annexure 4 .
16. All drainage pipes shall be relocated outside of the building footprint. Further review of roof configuration indicates that the entire roof runoff is directed towards the courtyard. Building shall be redesigned to avoid trapped areas.	The design has been undertaken by Henry & Hymas engineering consultants in accordance with Fairfield Council's DCP 2013 and Stormwater Management Policy 2017. Refer to civil plans and Civil Design Statement which addresses this preDA request at Annexure 4 .
17. Surface flow path around the rear of the building (southern side) shall be clearly shown to demonstrate that the surface runoff from the upstream properties are conveyed through the site.	A 300mm wide swale will convey the surface runoff at the rear (south) of the building to Turquoise Crescent. Refer to civil plans and Civil Design Statement which addresses this preDA request at Annexure 4 .
18. Vehicular access to the site and all parking spaces shall be designed in accordance with AS 2890.1-2004. Adequate on-site manoeuvring is to be provided to enable vehicles to enter and exit the site in a forward direction. The basement ramp shall be designed for two-way traffic movement.	Proposal complies. Entry driveway is designed to accommodate two-way traffic movement. There is no basement ramp proposed.
19. Swept path diagrams for the largest vehicle used for the operations of the site shall be provided to demonstrate how such vehicles can enter and exit the site in a forward direction.	Vehicle swept path diagrams for trucks and large vehicles are provided in the attachments to the Traffic Report at Annexure 8 .
Building Matters	
20. Waste Management Plan to submitted with DA.	A Waste Management Plan is provided at Annexure 11 .
21. Full compliance with BCA is required.	BCA Report prepared by Blackett, Maguire + Goldsmith is provided at Annexure 9 .

Conclusion																							
<p>22. <i>Consideration to be given to the requirements to Part 6, Division 3 of the EP&A Regulation 2000 prior to lodgement of any DA submitted for the proposal. Full details of the proposed use shall be provided accompanying an Environmental Impact Statement and detailed plans of suitable scale identifying all proposed uses on site. The applicant must ensure that the development achieves compliance with SEPP Seniors.</i></p> <p><i>Notwithstanding, the following details will need to be submitted with any such Development Application:</i></p> <table><tr><td><ul style="list-style-type: none"><i>An electronic copy in PDF format of all documentation and plans is required.</i></td></tr><tr><td><ul style="list-style-type: none"><i>DA Form</i></td></tr><tr><td><ul style="list-style-type: none"><i>SEE with full details of application</i></td></tr><tr><td><ul style="list-style-type: none"><i>Full set of architectural plans, site plan, floor plan, elevations & sections, shadow diagram drawn at appropriate scales</i></td></tr><tr><td><ul style="list-style-type: none"><i>Acoustic Report</i></td></tr><tr><td><ul style="list-style-type: none"><i>Traffic Report</i></td></tr><tr><td><ul style="list-style-type: none"><i>Dilapidation Report</i></td></tr><tr><td><ul style="list-style-type: none"><i>Relevant DA fee and notification fees</i></td></tr><tr><td><ul style="list-style-type: none"><i>Waste management plan</i></td></tr><tr><td><ul style="list-style-type: none"><i>Cost Report</i></td></tr><tr><td><ul style="list-style-type: none"><i>Owner's consent</i></td></tr></table>	<ul style="list-style-type: none"><i>An electronic copy in PDF format of all documentation and plans is required.</i>	<ul style="list-style-type: none"><i>DA Form</i>	<ul style="list-style-type: none"><i>SEE with full details of application</i>	<ul style="list-style-type: none"><i>Full set of architectural plans, site plan, floor plan, elevations & sections, shadow diagram drawn at appropriate scales</i>	<ul style="list-style-type: none"><i>Acoustic Report</i>	<ul style="list-style-type: none"><i>Traffic Report</i>	<ul style="list-style-type: none"><i>Dilapidation Report</i>	<ul style="list-style-type: none"><i>Relevant DA fee and notification fees</i>	<ul style="list-style-type: none"><i>Waste management plan</i>	<ul style="list-style-type: none"><i>Cost Report</i>	<ul style="list-style-type: none"><i>Owner's consent</i>	<p>All required details related to the proposed development and the associated assessment of various environmental and social issues impacted by the proposed development are submitted with application. An assessment of the proposal against the requirements of SEPP Seniors and the objectives and controls pertaining to the zoning are detailed under Section 5.1 and 5.2 of this statement.</p> <table><tr><td>✓ Submitted</td></tr><tr><td>✓ Submitted</td></tr><tr><td>✓ Submitted</td></tr><tr><td>✓ Submitted</td></tr><tr><td>✓ Submitted</td></tr><tr><td>✓ Submitted</td></tr><tr><td>Advised <u>NOT</u> required at this stage</td></tr><tr><td>✓ Submitted</td></tr><tr><td>✓ Submitted</td></tr><tr><td>✓ Submitted</td></tr><tr><td>✓ Submitted</td></tr></table>	✓ Submitted	✓ Submitted	✓ Submitted	✓ Submitted	✓ Submitted	✓ Submitted	Advised <u>NOT</u> required at this stage	✓ Submitted	✓ Submitted	✓ Submitted	✓ Submitted
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4.0 Proposed Development

4.1 Introduction

The proposal seeks approval for the following:

- Demolition of existing single storey (100 beds) residential aged care facility (RACF) and site preparation works;
- Removal of 28 trees;
- Construction of a 2-storey and part 3-storey Residential Aged Care Facility (RACF) comprising a total of 132 bedrooms, accommodating a total of 151 resident beds;
- At grade carpark for 33 vehicles, accessed off Quarry Road, plus an ambulance space and truck loading dock;
- Associated landscaping and retaining walls;

The proposal is detailed in the Architectural drawings prepared by Jackson Teece which accompany this Development Application at **Annexure 2**.

4.2 Key Development Statistics

The key statistics for the concept proposal are summarised in **Table 1** below.

Component	Proposed	
Site Area	7,528m²	
Gross Floor Area	7,111m²	
Maximum Building Height (measured to ceiling from EGL)	Western Wing 2 storeys Max height 6.02m (Refer to SK 30 and SK 31 at Annexure 13 for sections).	Eastern Wing 3 storeys Max height 9.2m (NE wing) Max height 8.8m (East wing)
Floor Space Ratio	0.94:1	
Landscaped Area	2746m² (or 36%)	
Total number of Rooms/Beds	132 bedrooms which includes 19 x twin-bed "Companion" rooms Total = 151 RACF beds	
Car Parking Spaces & Bicycle parking	33 at grade plus an ambulance bay. Proposal includes 2 x disabled parking spaces located near the RACF main entry. Bicycle racks will also be provided at the NW corner of the carpark.	
Setbacks	North – 3.9m-4.7m (minimum to neighbour rear boundary) South – 3.93m (to ROW pathway) East – 4.36m and 17.7m (to No 25 Turquoise Crescent) West – 5.5m (to church carpark)	

Table 1: Key Development Statistics

4.3 Building Design

The RACF is designed to accommodate high-care and dementia care residents and includes ancillary onsite facilities and services associated with the operation of the RACF. The RACF that has been designed to respond to the site characteristics and the needs of these high care residents. The project architects Jackson Teece have provided a Design Statement for the development, included at **Annexure 2**. The key principles supporting the design of the RACF include to:

- Limit vehicular access to the existing driveway from Quarry Road, to provide opportunity to landscape the frontage to Turquoise Crescent and maintain existing access routes;
- Set back the building bulk in the north-eastern corner to minimise impacts on adjoining rear yards of residential properties and retain a portion of a group of significant Cumberland Plain Woodland (CPW) trees;
- Set back the building and retaining walls from the western property boundaries to minimise impacts on neighbours trees;
- Set back the building from the corner of the reserve (ie 31m) to achieve suitable setbacks to the adjacent bushland and satisfy the requirements of Rural Fire Service;
- Achieve an attractive landscape setting for the building and include communal courtyard gardens suitable for frail aged residents;
- Provide a comprehensive range of indoor and outdoor facilities for the frail/aged residents;

A breakdown of the key features of each level of the development is provided below in **Table 2** below:

Level	Description
Lower Ground Floor	<p><u>Back of House</u>: Kitchen, dry store, freezer, cool room</p> <p>Dryers , clean laundry, dirty laundry, plant, MSB, pad store, storage, fire & pump room, comms, meds and holding room. Lift and stair access</p> <p><u>Memory Support Unit (dementia)</u> : 16 x MSU bedrooms/ 16 beds, nurse station, activity room, lounge and dining room, MSU Courtyard</p>
Ground Floor	<p>Loading dock and garbage store, maintenance room, ambulance space, parking for 33 cars (including 2 x disabled spaces), ambulance bay, porte cochere (3.350 clearance), entry foyer, reception, waiting room, admin, interview room. Lift and stair access</p> <p>55 x bedrooms (includes 4 x companion rooms) = 59 beds</p> <p>Activity rooms, sitting rooms, lounges, dining rooms, nurse stations, pad store</p> <p>East courtyard, west courtyard, northern terrace, southern terrace, eastern balcony, resident salon, function room, resident café with outdoor seating overlooking east courtyard, dining room, lounge room and function room</p>
First Floor Level	<p>61 x bedrooms (includes 15 companion rooms) = 76 beds</p> <p>Sitting rooms, lounges, dining rooms, nurse stations, pad store</p> <p>North balcony x 2, south balcony, east balcony</p>
Roof Level	A/C Plant, lift overrun, Photovoltaic Panels and solar panels

Table 2: Breakdown of proposed uses by floor level

Architectural Design Statement – prepared by Jackson Teece Architects

OVERVIEW AND BUILDING FORM: The proposed Opal aged care facility in Bossley Park responds to the terrain, vegetation, climate and existing context of the site, providing sunlit outdoor areas, sheltered courtyards and high levels of resident & staff comfort. Key concepts of the new facility are the eastern courtyard with mature trees, an improved building entry, service vehicle area and carpark, and landscaped internal courtyards: The Memory Support Unit (dementia wing) forms a secure courtyard around a mature stand of Grey Box trees, and providing an opportunity for interaction with nature for the residents on the levels above. The service & staff areas are underground next to the MSU wing, serving the loading dock and the residential wings above.

The grand entry and arrival area sit atop a sloping driveway from the road, with a composition of tall openings in the brick façade which provide views through the spacious foyer, reception and residents lounge above, and through to the internal courtyard. While the east wings are elevated above the surrounding landscape, the west wings are sheltered into the terrain, with resident rooms and common areas looking onto sunlit courtyards and open walkways with established trees and pleasantly landscaped planters. When sighted from the neighbourhood the residential wings are articulated by recessed glazing revealing the light and movement of the circulation and common areas within. The external façade combines masonry and lightweight cladding in reference to the surrounding context to generate forms treated with a palette of materials, glazing elements and sunshade hoods.

Overlooking and privacy has been addressed with opaque louvers at eye level to corridor glazing, by reducing the resident rooms facing neighbour's properties, and screening glazing to key areas with vertical fins. The facility and surrounding landscape incorporate CEPTED principles of surveillance, legibility and territoriality to create a safe and healthy environment

THE PUBLIC ARRIVAL The formal entry and porte cochere are clearly visible from Quarry Road, atop the rising driveway flanked by flagpoles and mature trees, an accessible entry ramp and verdant landscaping. The arrival forecourt emphasises the facility entry, providing clear pathways for both pedestrian and vehicular traffic. The new carpark is located beyond the porte cochere & drop off zone, adjacent to the enclosed loading dock and service vehicle turn around bay.

ENTRY AND RECEPTION The reception and lobby enter via a high alcove and flow past the café and beauty salon onto the internal courtyard and adjacent function room. The social activity of the café and salon will enliven the foyer and entertain the residents observing the courtyard.

RESIDENTIAL CARE HOUSEHOLDS The ground and first floor of the facility each contain two households of residential care, clustered around central dining, living and sitting spaces with allocated staffing for direct assistance as required. The resident households and internal rooms overlook two sunlit internal courtyards, while the common areas, balconies and external rooms look out over the landscape, down Turquoise Crescent, and off to the South-eastern horizon. The common areas & internal courtyards are oriented to maximise exposure to sunlight in the winter months.

MEMORY SUPPORT (DEMENTIA) CARE HOUSEHOLD The lower ground level dementia support community opens onto a secure sensory courtyard with landscaped pedestrian circuit, pergola and a mature stand of Grey Box eucalypts. The common areas and sheltered natural landscape provide opportunities for exercise and to experience nature. The staffing station is central to the household, with entertainment, leisure and recreational programs held in the adjacent activity and audio rooms.

BACK OF HOUSE *The back of house and service areas including kitchen, laundry, staff and store rooms are located in the basement, directly below the entry and courtyard and resident areas above. The two lifts connect the back of house facilities with the service areas in each resident household, and the enclosed loading dock and garbage store on ground level.*

STAFF FACILITIES The staff facilities include a lunch and training room opening onto a discreet courtyard and seating area. Staff amenities include end of trip facilities, lockers, bike and car parking, and nearby bus stops.

Architectural Drawings

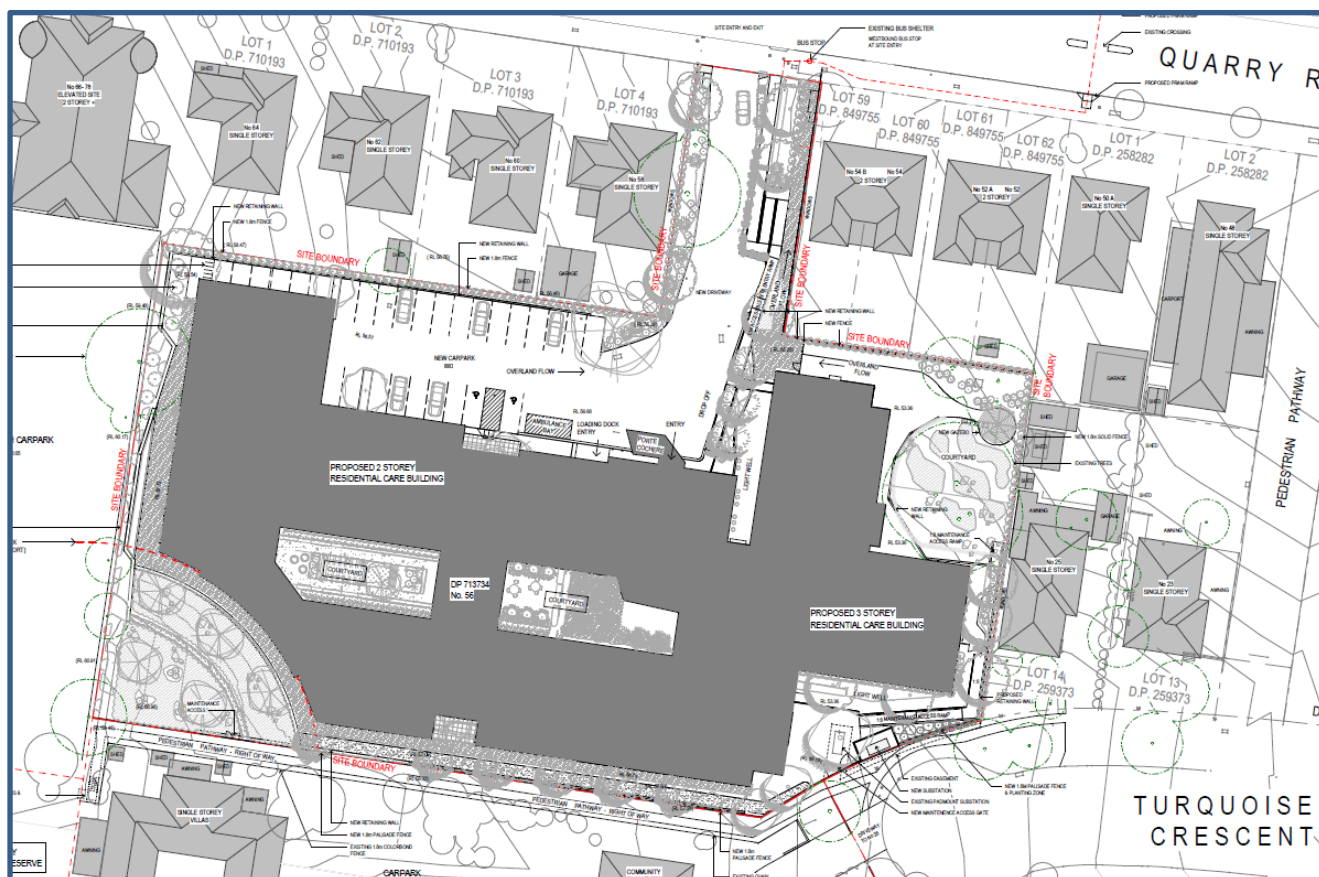


Figure 27 – Site Analysis Plan

Source: Jackson Teece

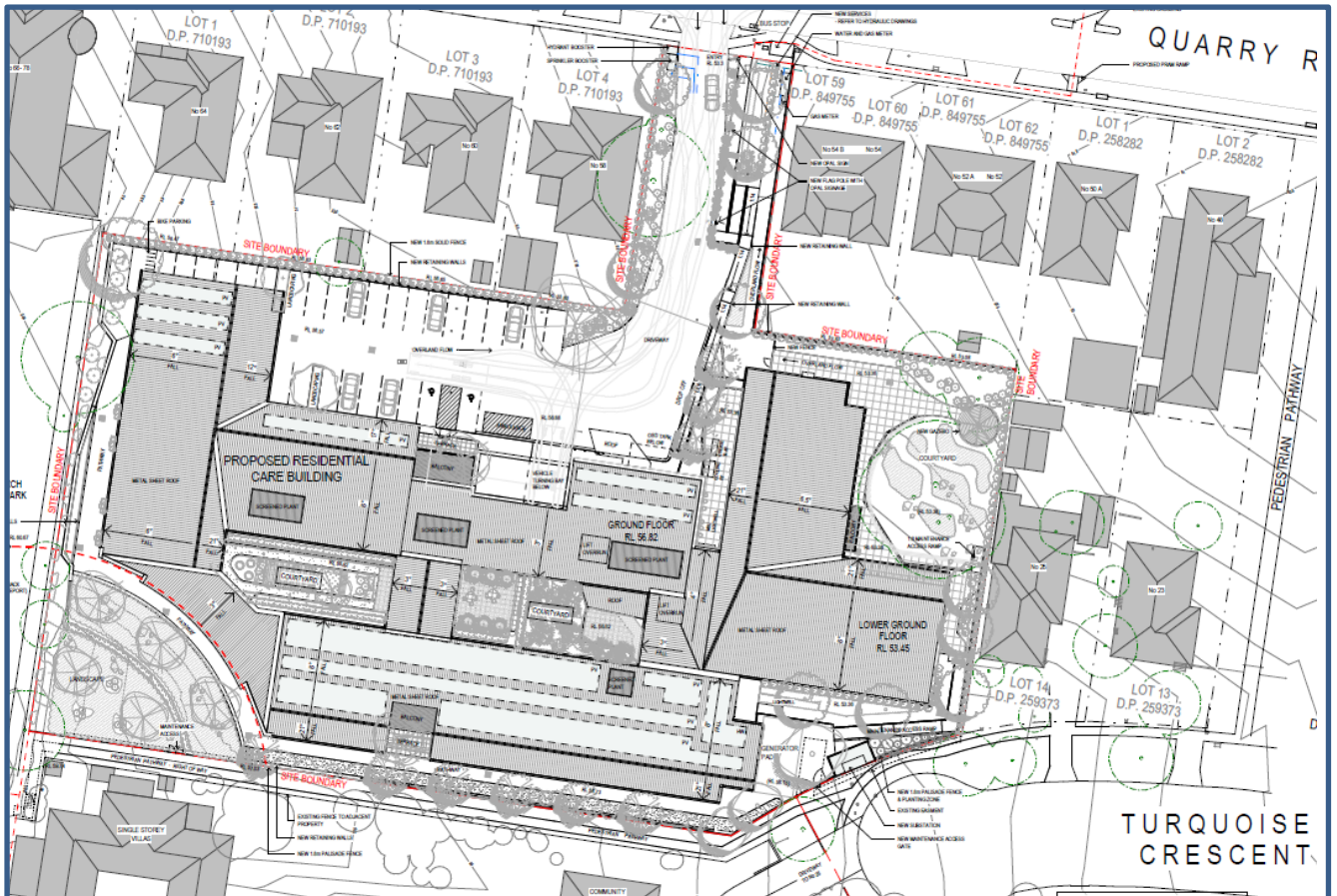


Figure 28 – Site Plan

Source: Jackson Teece

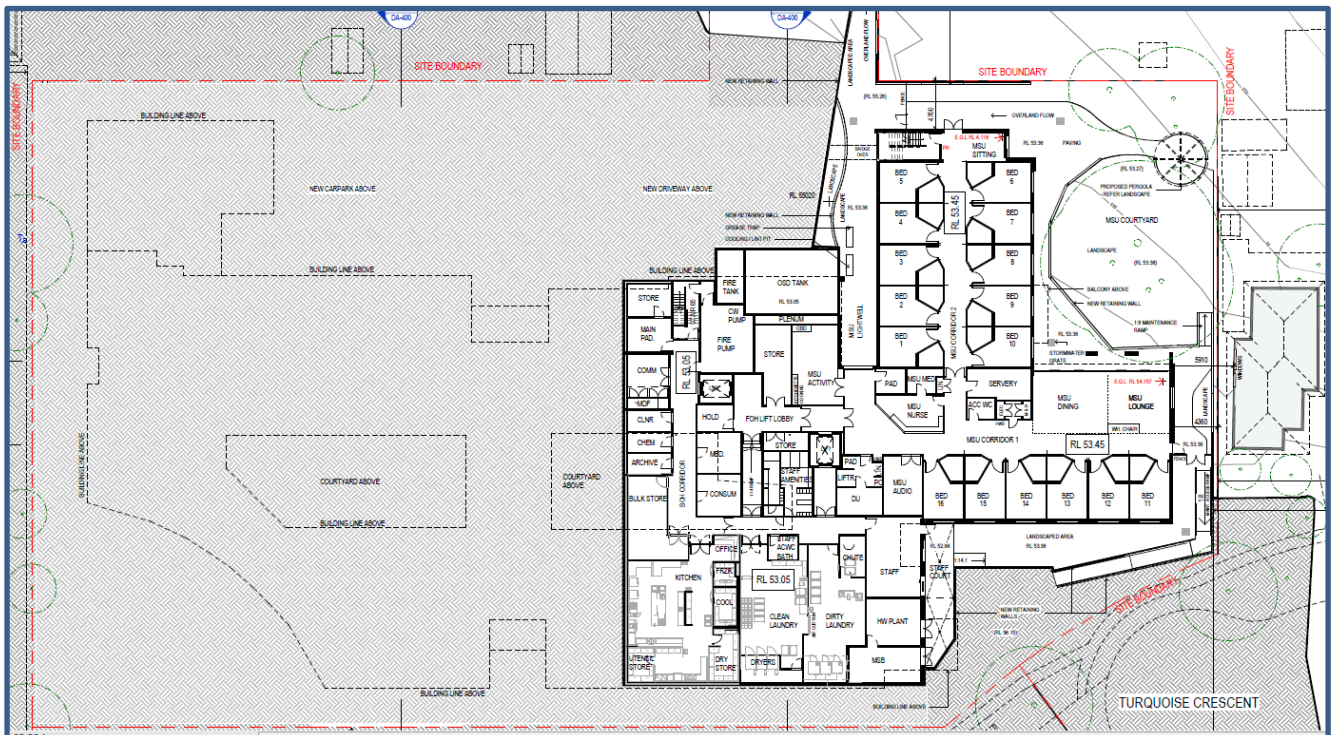


Figure 29 – Lower Ground Floor Plan

Source: Jackson Teece

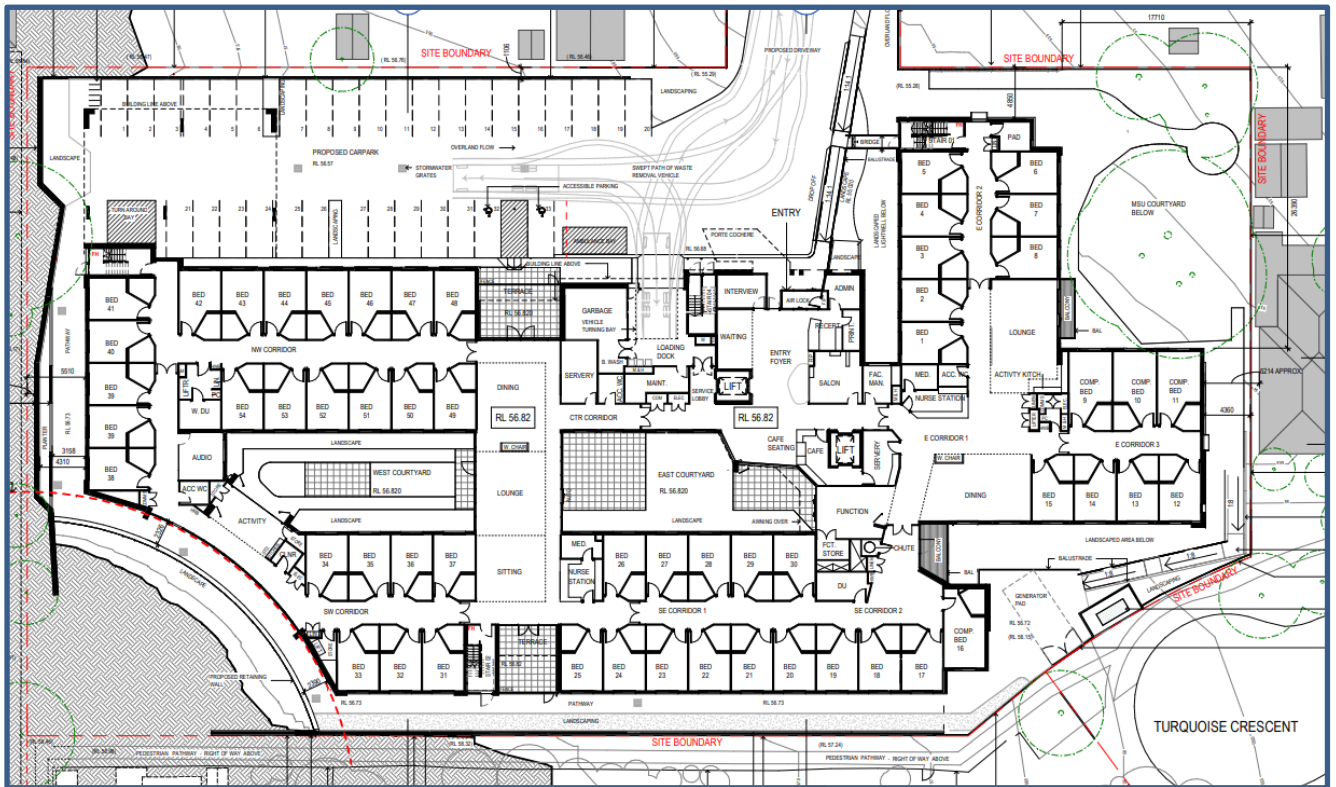


Figure 30 –Ground Floor Plan

Source: Jackson Teece

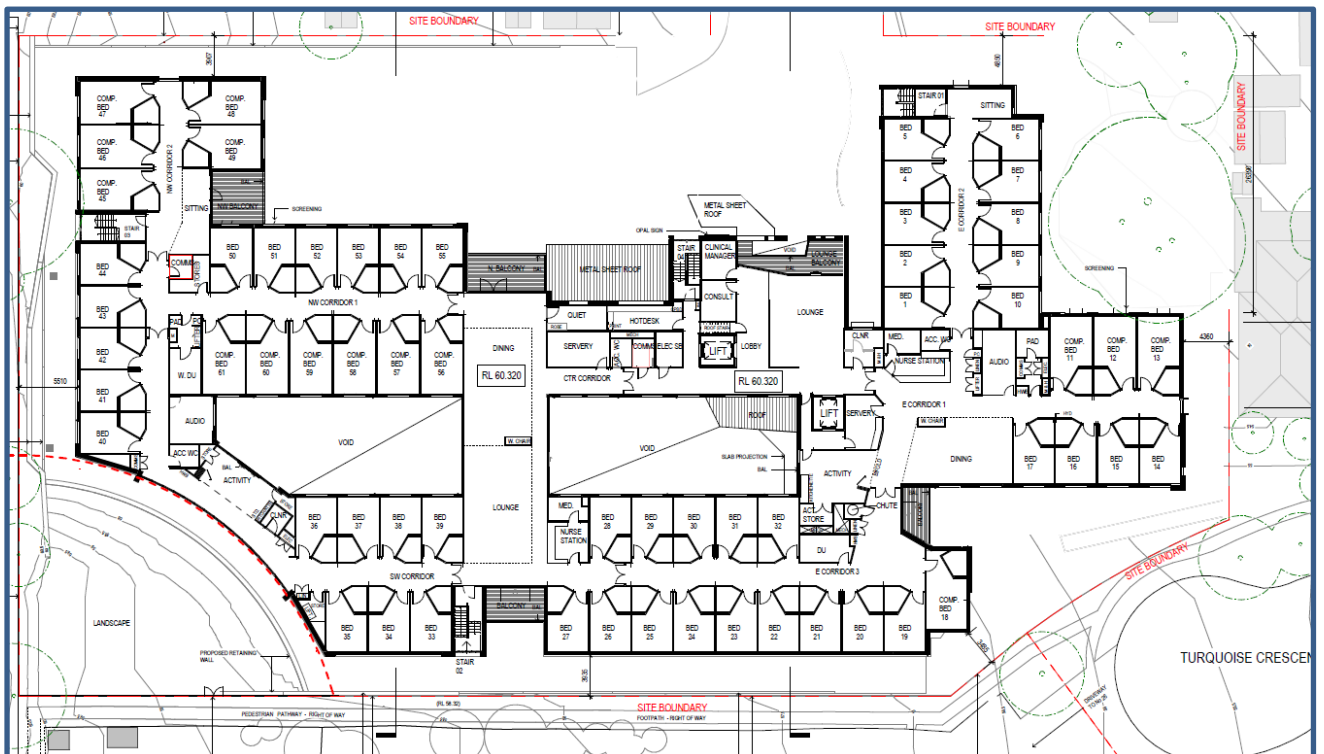


Figure 31 – First Floor Plan

Source: Jackson Teece

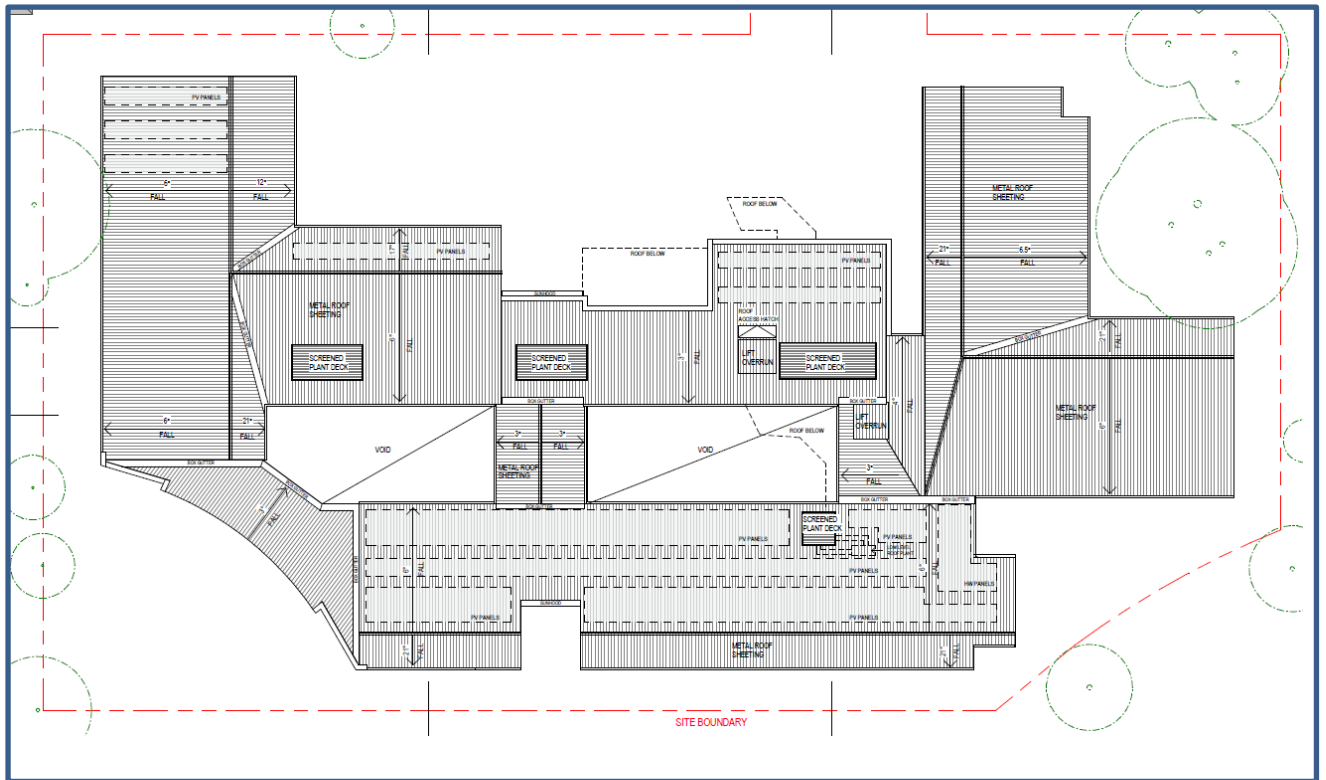


Figure 32 – Roof Plan

Source: Jackson Teece

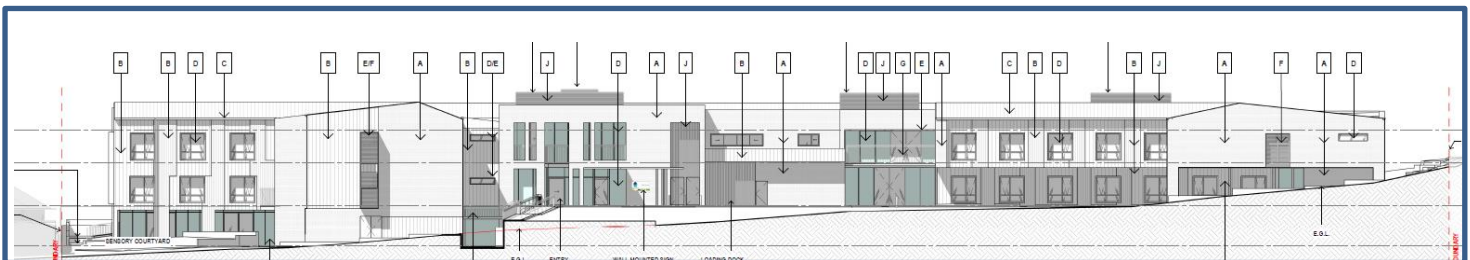


Figure 33 – Northern building elevation (internal within the site, no landscape shown)

Source: Jackson Teece

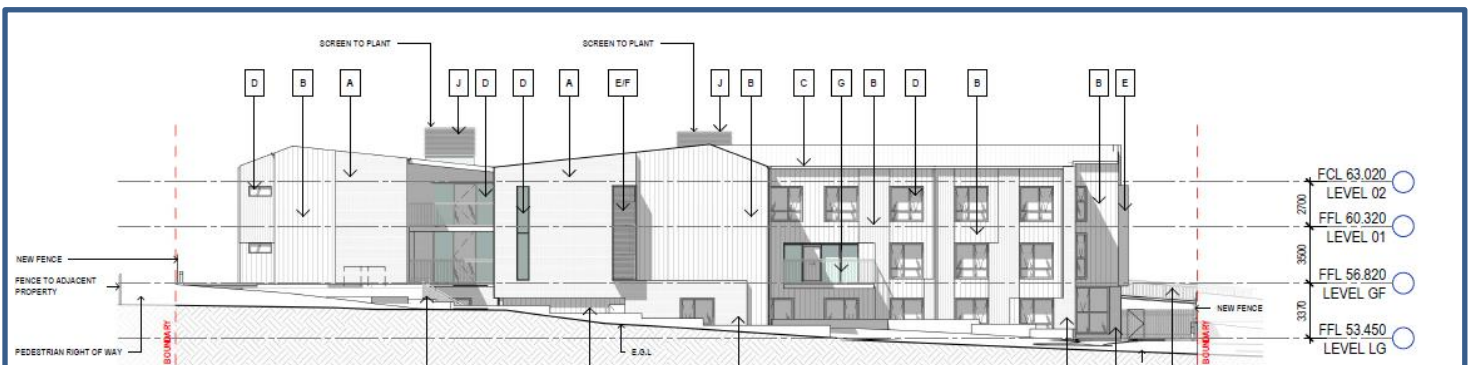


Figure 34 – Eastern building elevation (no landscape/fence shown)

Source: Jackson Teece



Figure 35– Southern building elevation (no landscape/fence shown)

Source: Jackson Teece



Figure 36 – Western building elevation from Church carpark (no landscape/fence shown)

Source: Jackson Teece

4.4 Building Materials

The proposed materials and finishes of the building include light brown face brick, brown to beige and grey light weight cladding with a darker grey metal roof. Refer to Jackson Teece Sample Materials board at **Annexure 2** and extract below;

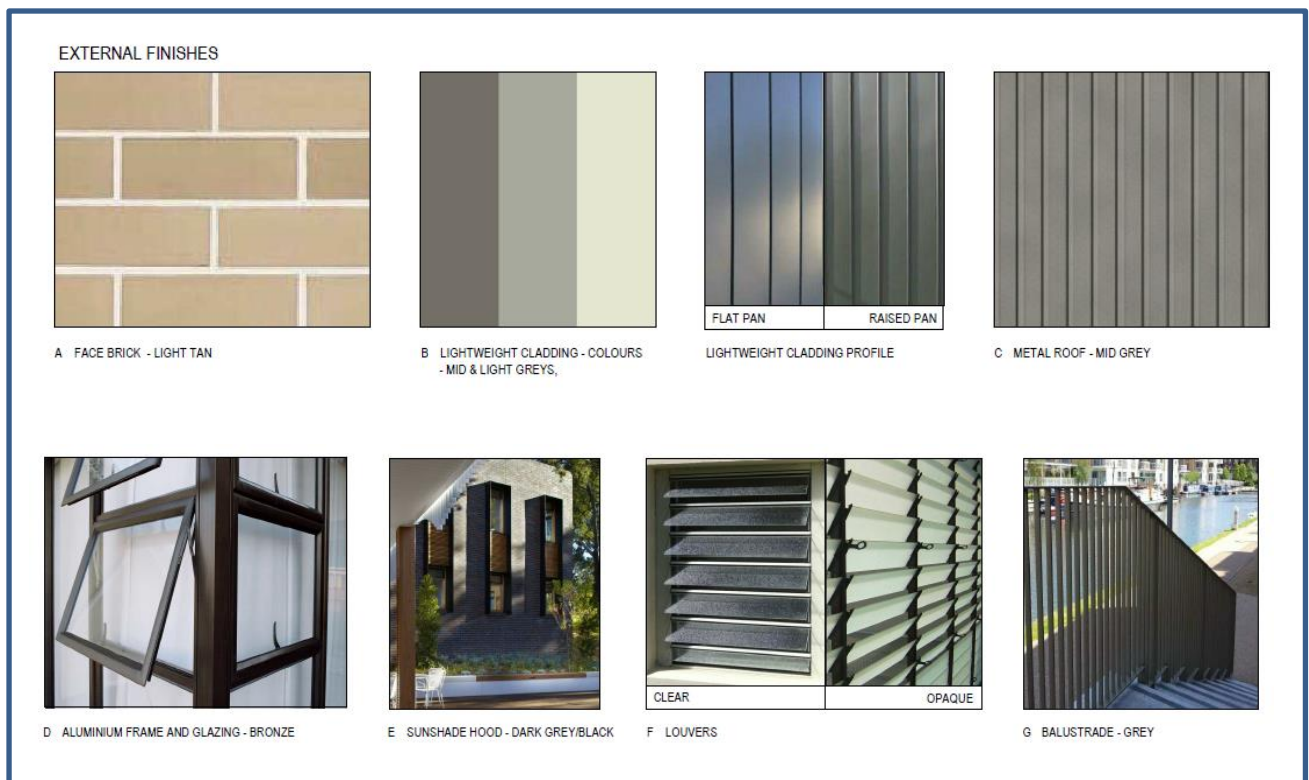


Figure 37 – Materials and Colours

Source Jackson Teece

4.5 Tree Protection and Removal

The subject site contains thirty-seven (37) trees, including small groups at the eastern & north-east part (Refer **Figure 30**) and along the entry driveway. Refer **Figure 38 and 39**.



Figure 38: CPW Trees on east side No 56



Figure 39: Trees alongside the entry drive to No 56

The arborist report provided at **Annexure 5** indicates that *the majority of trees on site are only of moderate to low quality*. Five trees are listed as undesirable species in Chapter 3 of Fairfield DCP. The most significant trees (T5, T6, T7, T8, T9, T10) are a group of *Eucalyptus moluccana* grey boxes located on the eastern part of the site. Under the proposal two of the group are to be removed to accommodate the development (T5 and T10) and the remainder Eucalypts (T6,T7,T8,T9) will be retained and protected in a garden area.

The retained Eucalypts (T6,T7,T8,T9) are designed to provide a “look at” space in the dementia garden and increase the ecological values of the site . A group of trees in the NE corner (T11, T12, T13) and two trees adjoining the driveway (west side) are retained. The application proposes to incorporate planting two x CPW species. These plantings have been provided at the SE corner, within the building setback to Turquoise Crescent. Refer to Landscape Plan at **Annexure 3**.

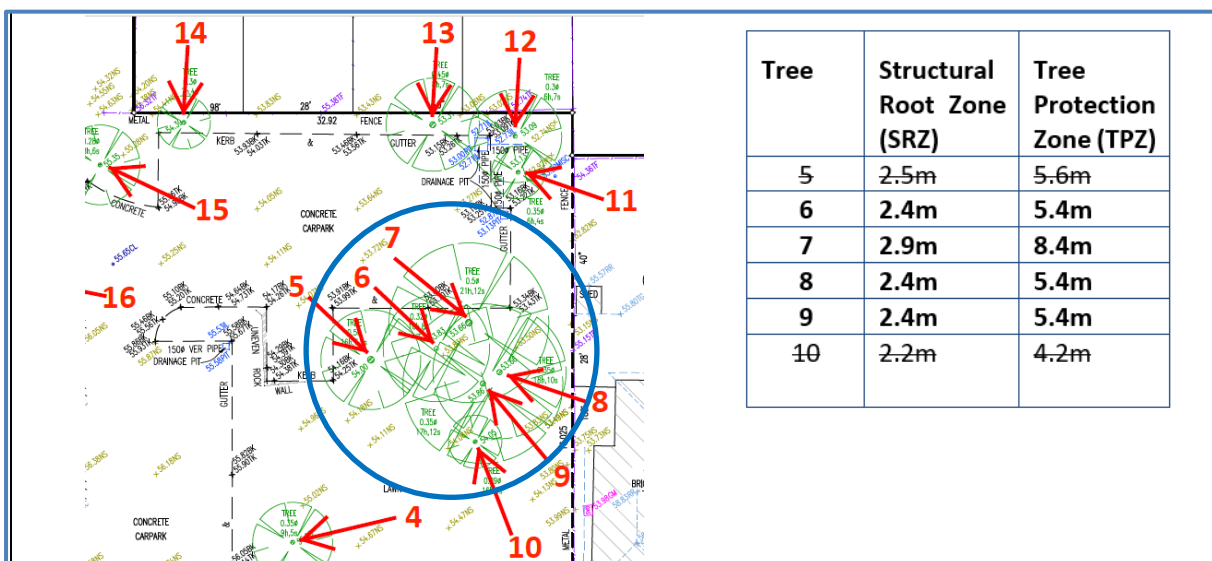


Figure 40: Location and details of the group of *Eucalyptus moluccana* grey boxes (T5, T6, T7, T8, T9, T10)

An extract of the Tree Removal/ Retention Plan prepared by Taylor Brammer Landscape Architects in liaison with the consultant Arborist is provided at **Figure 41** below;

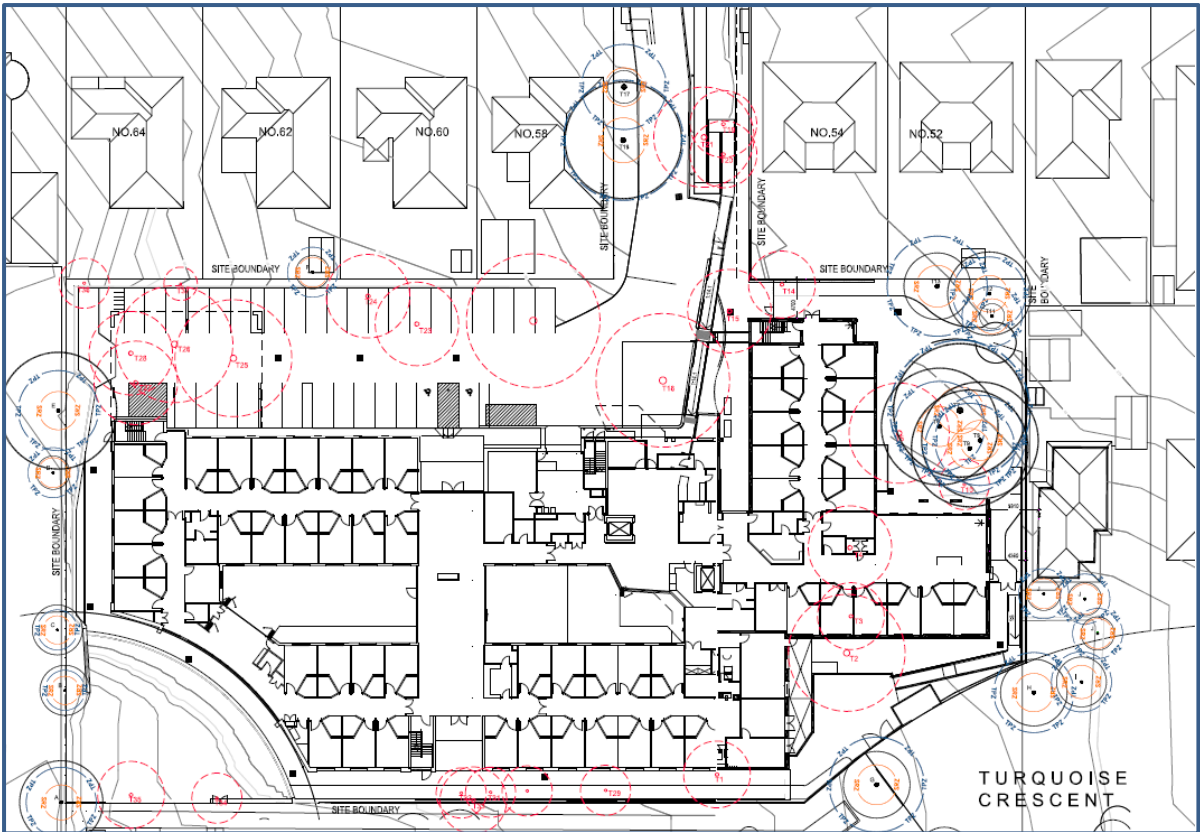


Figure 41: Tree Removal/Retention Plan Drawing 06 Rev C

Source: Taylor Brammer

A total of twenty-eight (28) trees are to be removed as part of the proposed development. This includes twelve (12) trees with a Retention Value of *Consider for Retention* , fourteen (14) trees with a Retention Value of *Consider for Removal* and two (2) trees with a retention value of *Priority for Removal*. **No trees with a Retention Value of *Priority for Retention* are proposed for removal.**

The following extracts from the Arborist Report at **Annexure 5** are provide below;

Table 1: Trees to be removed			
Priority for Retention	Consider for Retention	Consider for Removal	Priority for Removal
	2, 5, 10, 15, 16, 21, 22, 23, 24, 25, 26 & 28	1, 3, 4, 14, 19, 27, 29, 30, 31, 32, 34, 35, 36 & 37	20 & 33

Table 2: Trees to be retained			
Priority for Retention	Consider for Retention	Consider for Removal	Priority for Removal
7, 8 & 9	6 & 18	11, 12, 13 & 17	

Works are proposed within the Tree Protection Zone (TPZ) areas of fifteen (15) trees which are to be retained. Details relating to TPZ encroachments are provide in the Arborist Report prepared by Tree IQ at **Annexure 5**. Specific construction requirements are recommended to ensure retention and protection of these trees at Sections 3.4 and 3.5 of the Arborist Report. Section 3.6 of the Arborist Report also assesses canopy impact with respect to Trees 6-9 (*Eucalyptus moluccana*), Tree 17, Tree F and Tree H which will require some pruning.

The allocation landscaping is detailed in the table below. Accompanying calculation plans are provided at **Annexure 2** (Drawing DA010- Area plans).

LANDSCAPE AREA		
Level	Area	Comments
LEVEL LG	95 m ²	LANDSCAPE
LEVEL LG	716 m ²	LANDSCAPE
LEVEL GF	200 m ²	LANDSCAPE
LEVEL GF	195 m ²	LANDSCAPE
LEVEL GF	1196 m ²	LANDSCAPE
LEVEL GF	23 m ²	LANDSCAPE
LEVEL GF	209 m ²	LANDSCAPE
LEVEL GF	26 m ²	LANDSCAPE
LEVEL GF	85 m ²	LANDSCAPE
9	2746 m ²	

Table 3: Landscaped Area Calculations Drawing DA010 - Area plans Source: Jackson Teece

The following **Landscape Design Statement** has been prepared by Taylor Brammer Landscape Architects.

The landscape proposal aims to nestle the proposed development within a residential setting through the implementation of a landscape proposal consistent with the character of the area, the requirements of Fairfield City Council and the natural environment.

The site address at Quarry Road will be improved through means of planting and improved accessibility and visibility to the site, whilst the Turquoise Crescent frontage will be screened through the implementation of a native planting scheme. The proposed car park accessed from Quarry Road will be embellished with landscape including trees, shrubs and groundcovers to provide visual relief, shade and increase water infiltration of the site.

Layered screen planting will be provided to the boundaries of the development adjacent to residential dwellings to provide a filtered vegetative buffer. Small tree and shrub species will be selected in accordance with Planning for Bushfire Protection, 2006, guidelines as appropriate with shrubs growing to a maximum height of 3m and trees to 6m in the south-west corner of the site.

The proposal creates options for residents, staff and visiting families to gain access to nature through the provision of a range of courtyards throughout the proposal. A dementia specific courtyard to the east of the site will feature the retention of existing Cumberland Plain Woodland trees with selected additional activity elements within. Two central courtyards located on the ground floor will be accessible by residents and families alike and provide visual interest for residents within rooms above. These courtyards will provide a range of activities within and include a café space, sunny nooks, resident gardening options, raised planters and sensory planting throughout. Users on level 1 will have a variety of landscape visual features throughout the upper floor, with a larger feature area to the South West. Vegetation and sculptures to the south west will be consistent with guidelines outlined in the Planning for Bushfire Protection 2006, and to the satisfaction of the bushfire consultant

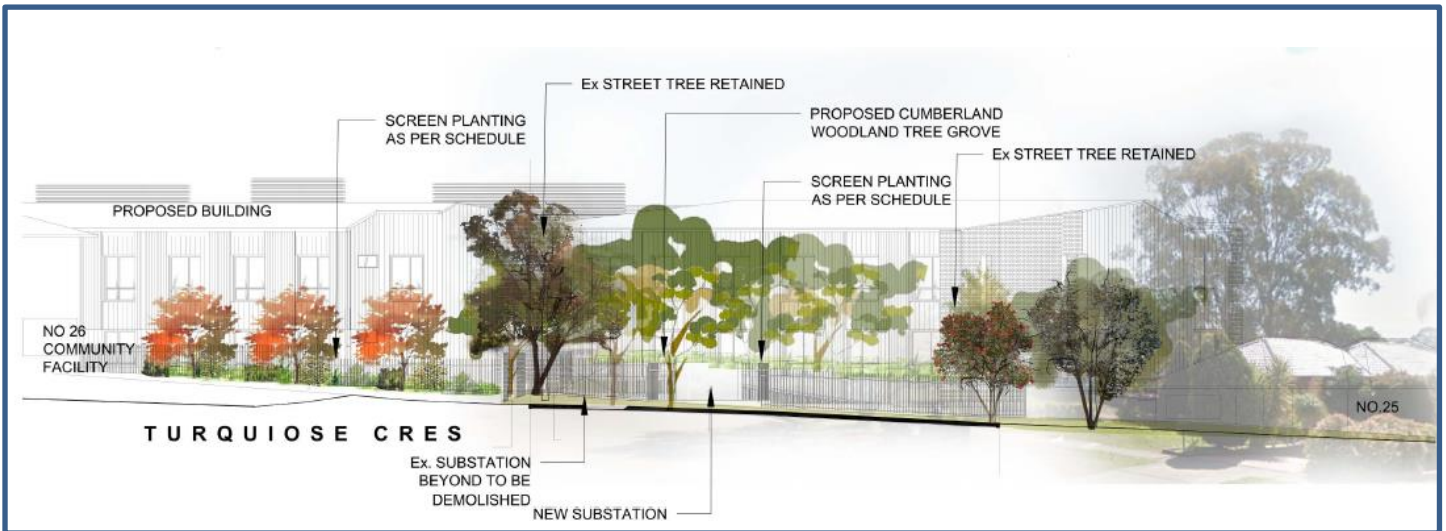


Figure 43: Landscape Turquoise Crescent Elevation Drawing 04 Rev D

Source: Taylor Brammer

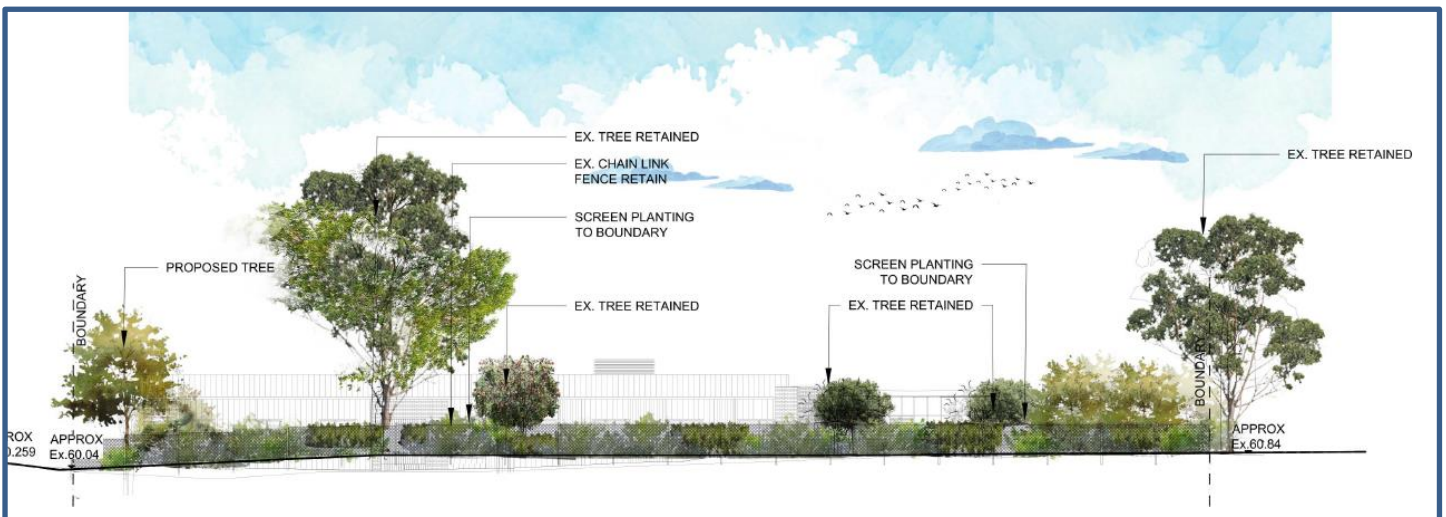


Figure 44: Landscape Western Elevation Drawing 05 Rev C

Source: Taylor Brammer

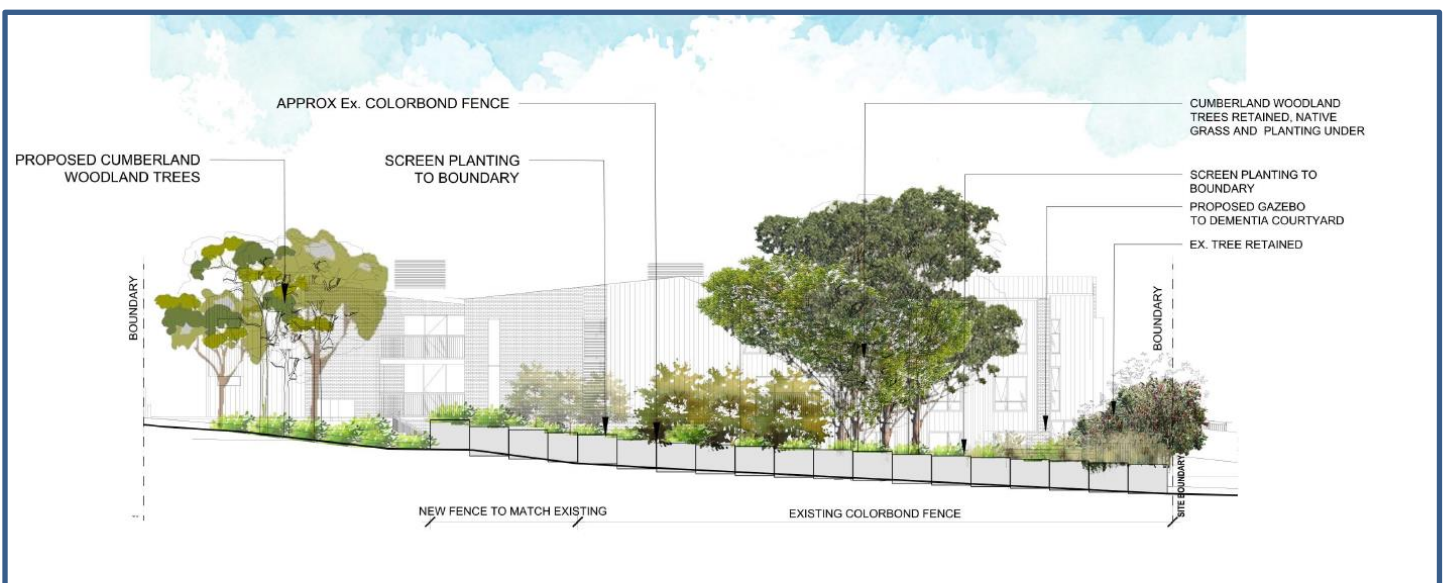


Figure 45: Landscape Eastern Elevation Drawing 04 Rev D

Source: Taylor Brammer

4.7 Parking and Traffic

A traffic and parking assessment has been undertaken by Colston Budd Rogers and Kafes having regard to the provisions contained in Chapter 12 of the Fairfield Citywide Development Control Plan and SEPP Seniors. A copy of the Traffic and Parking report is provided at **Annexure 8**.

Parking is provided for 33 cars (18 staff plus 14 visitor spaces) including 2 x disabled spaces. A small porte cochere is provided at the main entry to facilitate covered pick-ups/drop-offs which is designed to be clear of the truck path of travel. The carpark and driveway are designed to accommodate a medium rigid vehicle (MRV) and ambulance. Refer extract truck turn template prepared by Colston Budd Rogers and Kafe at **Figure 46** below;

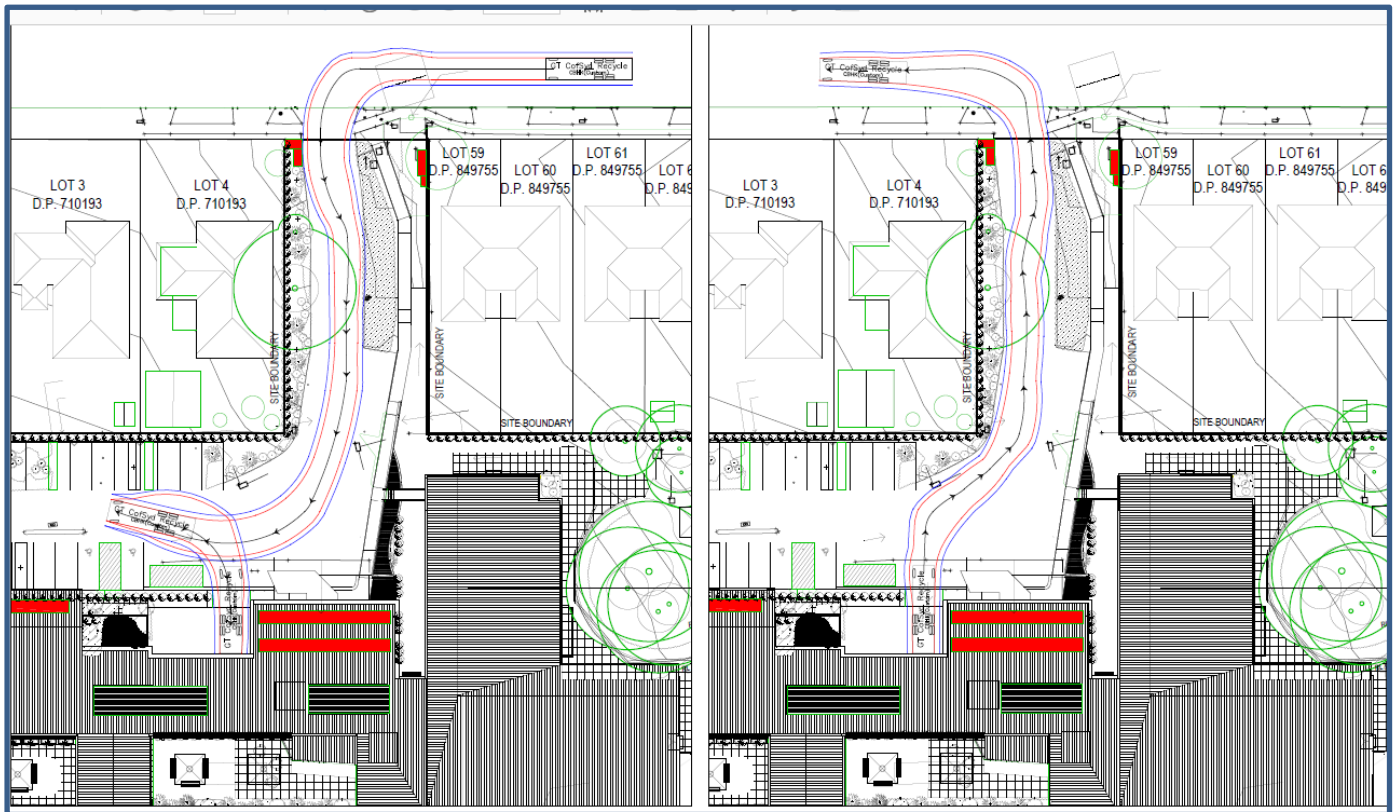


Figure 46: Traffic Report Truck Turn Template for 9.9m MRV extract

Source: Colston Budd Rogers and Kafe

The total parking available on site is summarised in the table below:

Parking Type	Proposed
Staff	- 18 staff parking spaces
Visitors	- 15 visitor parking spaces (2 x accessible spaces)
Ambulance	- 1 x ambulance bay
Garbage/ Service	- 1 x service vehicle space for 9.9m trucks
Bicycle	- Bicycle racks provided at the NW corner of the carpark

Table 4: Parking provision

The Traffic Report provides the following key advices in relation to the proposal;

Within the at-grade car park, parking spaces will be a minimum of 2.5 metres wide and 5.4 metres long. Spaces adjacent to obstructions will be 300mm wider to appropriately provide for doors to open. Disabled spaces will be a minimum of 2.4 metres wide, with an adjacent 2.4 metre wide area for wheelchairs. The minimum aisle width will be 5.8 metres and a further 300mm wider where a wall is located immediately adjacent the parking aisle. Dead end aisles will have a one metre extension for appropriate accessibility to end spaces. These dimensions are considered appropriate, being in accordance with the Australian Standard for Parking Facilities (Part 1: Off-Street Car Parking and Part 6: Off-Street Parking for People with Disabilities), AS 2890.1:2004 and AS 2890.6:2009.

A loading bay will be provided for garbage collection and deliveries. The bay will accommodate vehicles ranging in size up to 9.9 metre medium rigid trucks. Service vehicles will be able to enter and exit the site in a forward direction.

....

With 71 additional beds proposed in the new development the increase in traffic generation would be some five to 15 vehicles per hour two-way at peak times. This is a low generation.

Such a low generation would not have noticeable effects on the operation of the surrounding road network. The site access point on Quarry Road would continue to operate at a good level of service (LOS A/B) during peak periods, with similar average delays per vehicle.

4.8 Stormwater Management

The objective of stormwater management scheme for the site is to provide stormwater controls, which ensure that the proposed development does not adversely impact on the stormwater flows and water quality of waterways within, adjacent and downstream of the site. The principles and operation of the proposed stormwater system for the development are detailed on the Henry & Hymas civil drawings.

The drainage system for the proposed development will be designed to collect all concentrated flows from impervious surfaces such as roof areas, parking areas and roads. The proposed drainage system includes:

- A network of piped minor drainage system to collect runoff from the site.
- Overland flow paths to convey major flows through the site.
- Diversion of upstream flows around the site
- The on-site detention (OSD) system will limit the peak discharge from the site to Quarry Road due to the increased flows resulting from an increased impervious area.

The majority of the site falls from south to north where the site has frontage to Quarry Road. The majority of the existing site stormwater discharges to existing lintel pit adjacent to the site entry at Quarry Road.

The stormwater drainage and On Site Stormwater Detention (OSD) are designed in accordance with Fairfield City Council's Development Control Plan (2013) and Stormwater Management Policy (2017). The proposal includes a 99m³ On Site Detention (OSD) tank under the driveway near the main building entry.

4.9 Earthworks

The development proposes a mix of cut and fill, with the excavation proposed along the western boundary and centrally within the site to accommodate the lower ground floor (back of house areas within a basement). Excess of cut (6745m³) will be removed from the site.

Refer to plans prepared by Henry & Hymas at **Annexure 4** and extracts at **Figure 48** below (green shading denotes fill and red shading denotes cut). Relevant extracts are below;

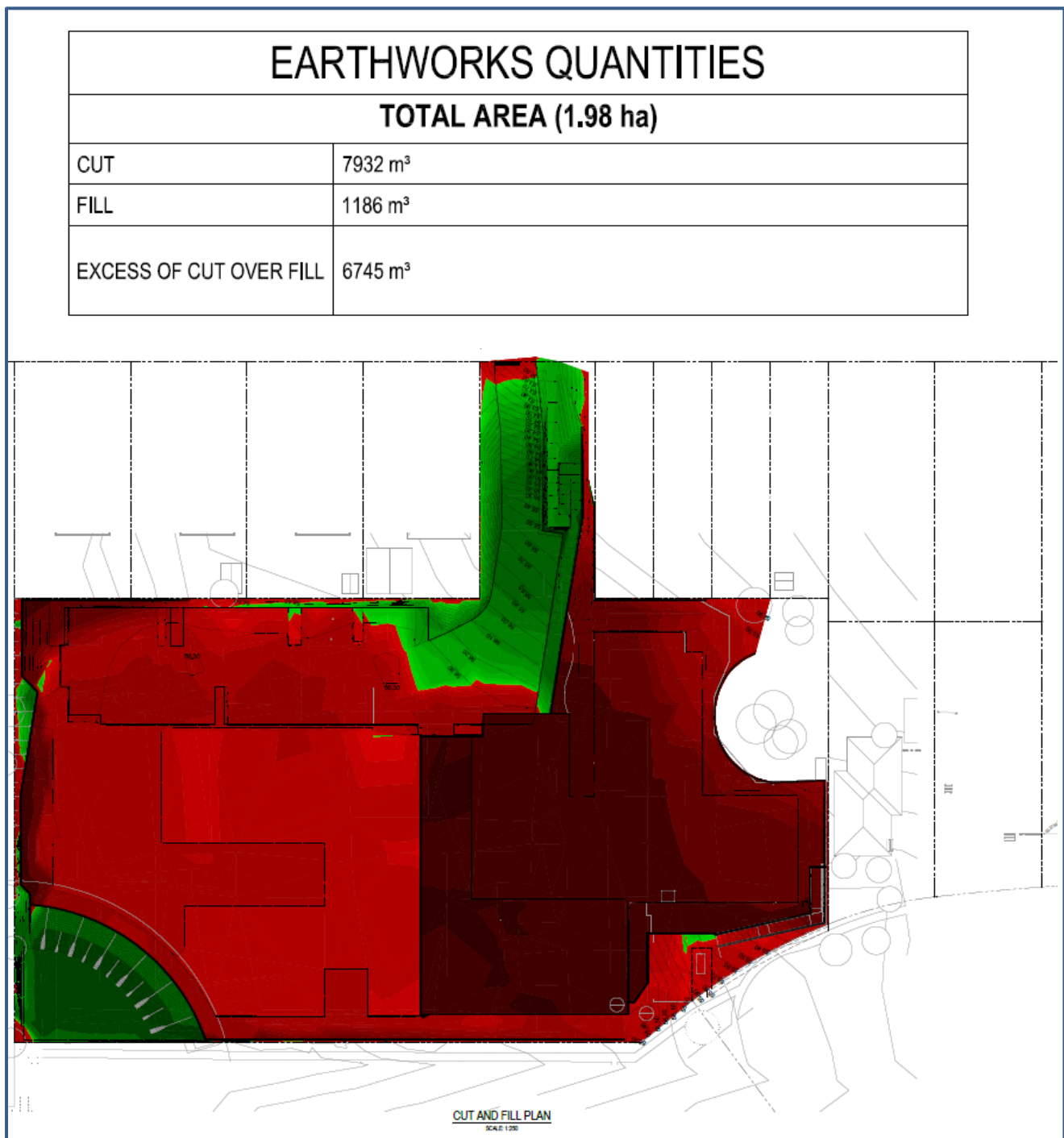


Figure 48: Earthworks Plan extract

Source: Henry & Hymas

4.10 Bushfire Management

The existing RACF occupies the southern portion of the site with the closest part of the building excavated below natural ground level and approximately 14 metres from the northeast corner of Bossley Road Reserve – refer to **Figure 49** below. Bossley Road Reserve contains an area of remnant Shale Plains Woodland [Cumberland Plain Endangered Ecological Community – CEEC]. The Council's Management Plan identifies that a Recovery Plan was developed by the NPWS [March 2001].



Figure 49: Aerial Photo existing RACF and adjoining bushland.

Source: Australian Bushfire Protection Planners

The understorey vegetation consists of low grasses in the northern portion of the reserve with a mixed native understorey in the southern portion of the reserve. Part of the northern and north-eastern perimeter of the reserve is regularly managed by Council to provide a fire break to the adjoining development which includes the subject RACF site, the church (north) and “Bossley Gardens” seniors village (east).

Fairfield Bushfire Prone Land Map was recently updated (December 2017) so that the subject RACF site is now located in the buffer zone to Category 2 Bushfire Prone Vegetation within the adjacent Bossley Road Reserve. The proposed redevelopment of the Aged Care facility is therefore defined as *Integrated Development* pursuant to Division 4.46(1) of the Environmental Planning & Assessment ACT 1979. Therefore, the Development Application is required to address the provisions of Section 100B of the NSW Rural Fires Act 1997 and the Consent Authority is required to obtain a Bushfire Safety Authority from the Commissioner of the NSW Rural Fire Service [pursuant to Section 100B of the Rural Fires Act].

The proposed redevelopment of the site is classified as ‘Infill Development’ under Section 4.2.5 of *Planning for Bushfire Protection 2006* which states that this type of development should seek to achieve a better bush fire protection outcome [such as improved construction standards] than if the development did not proceed.

The proposed RACF will be connected to the existing Sydney Water reticulated supply with booster valve, hydrants and hose reels installed to comply with A.S. 2419.1 – 2005.

The internal driveway has been designed to achieve compliance with Section 4.2.7 of Planning for Bushfire Protection 2006”.

A Bushfire Assessment Report has been prepared in consultation with the Rural Fire Service (RFS) by Australian Bushfire Protection Planners. A copy of the bushfire report and in principle support by RFS is provided at **Annexure 10**. Key recommendations of the bushfire consultant include the following:

- **Increased setbacks to achieve 31m setback to the corner of the reserve** to increase RACF setbacks to bushland to achieve a calculated radiant heat on the building of 9.40kW/m² - therefore satisfying the 10kW/m² required for Special Fire Protection Purpose Development
- **Appropriate building materials and landscape species selection**
- **Preparation of a site specific “Emergency Management Plan”** is recommended though it is expected that due to the low-level bushfire risk, the protocol will only need to ensure that residents and staff are located within the building. (The Management Plan can be required by the Consent Authority via conditions of DA consent).

4.11 Building Code of Australia (BCA) Compliance

The development will readily comply with the requirements of the Building Code of Australia, as detailed in the report prepared by Blackett, Maguire & Goldsmith which is provided at **Annexure 9**.

4.12 Signage

The application proposes two illuminated signs; **Sign 1** being located at the Quarry Road frontage to identify the RACF entry driveway from Quarry Road and **Sign 2** being a sign affixed to the northern wall to identify the main pedestrian entry point into the RACF reception. Both signs are illuminated by up-lighting to provide visibility for visitors. **Sign 3** comprises two flag poles (not illuminated) to be installed along the driveway within the RACF site. Signage is denoted on the Architectural Plans at **Annexure 2** and are detailed below:

Sign	Description	Location	Size
1	Site Entry sign (with up lighting)	Quarry Road frontage	2000W x 1100H
2	Main Building Entry Signage (Wall mounted with uplighting)	Porte Cochere	1500W x 750H
3	Flag poles (not illuminated) – with OPAL logo	Alongside the entry driveway	8M pole height

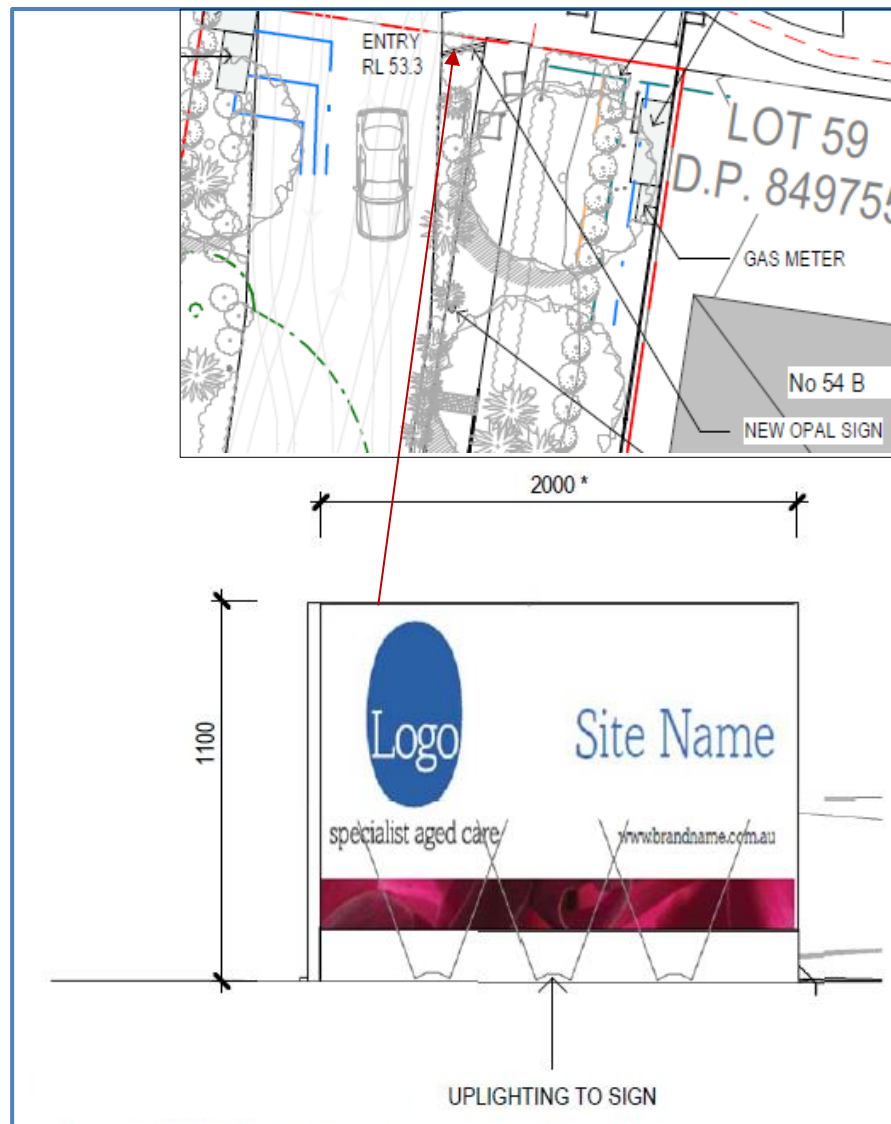


Figure 50: Sign 1 – Driveway Entry sign near Quarry Road frontage *Source: Jackson Teece*

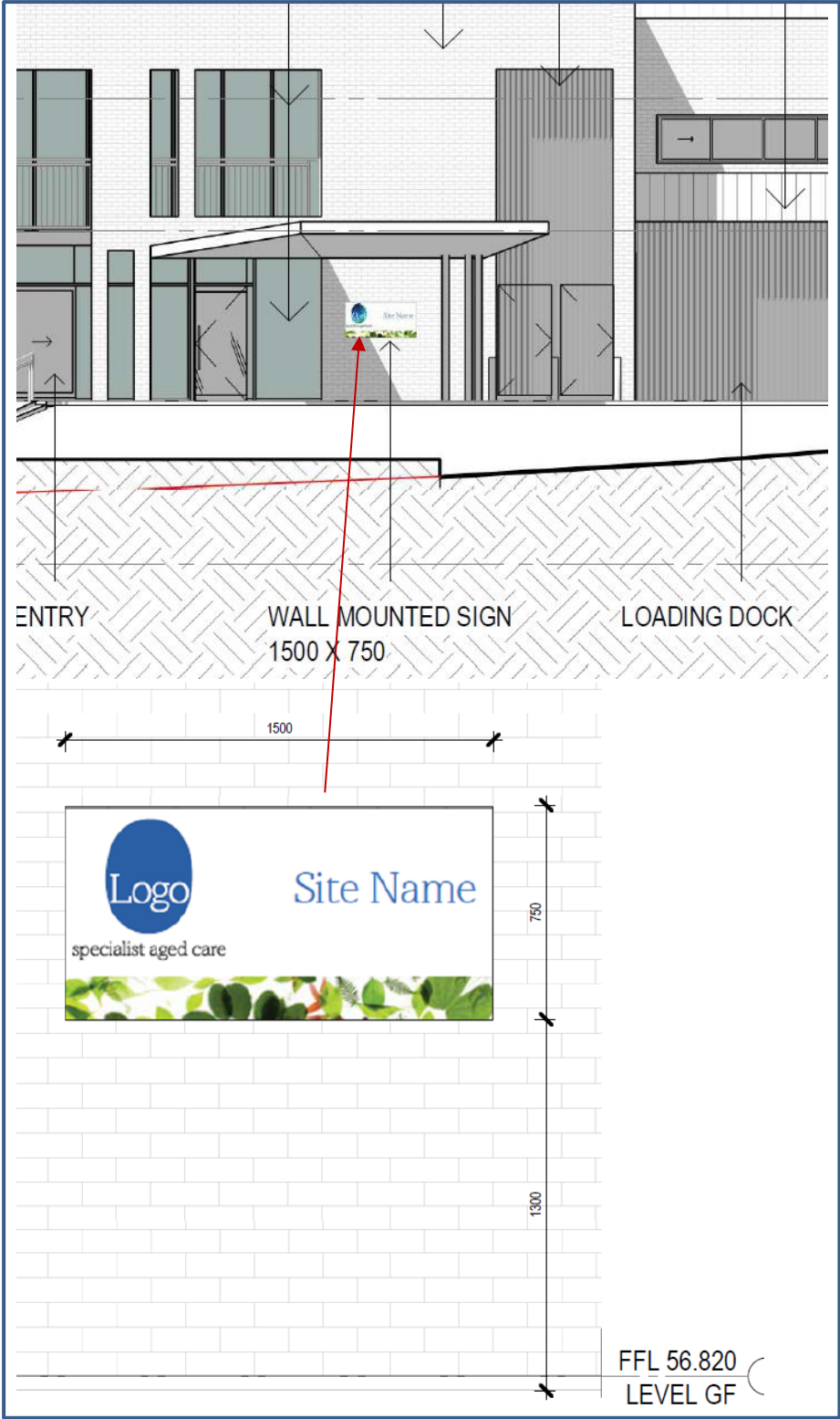


Figure 51 Sign 2 – Building Sign affixed to northern façade under the port cochere.

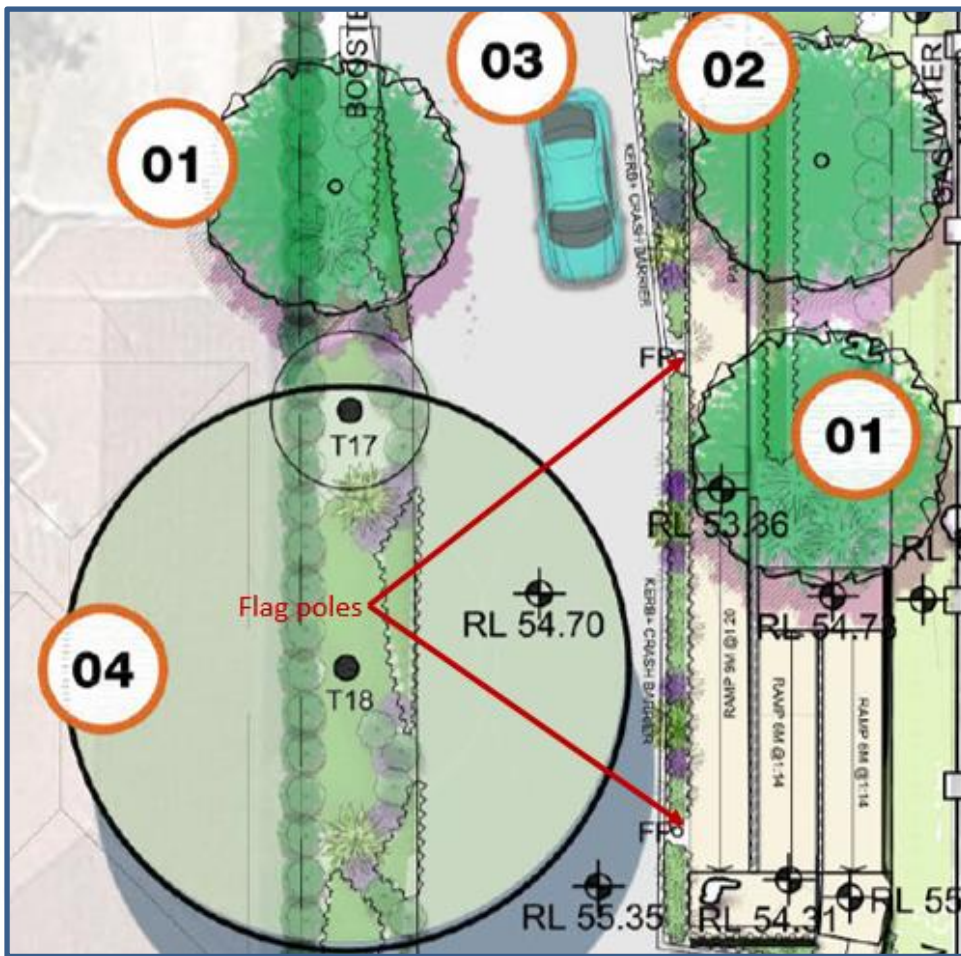


Figure 52 Sign 3 – Flag poles along driveway

Source: Taylor Brammer

4.13 Crime Prevention Through Environmental Design

The proposed RACF development has been designed with consideration of the Crime Prevention Through Environmental Design (CPTED) principles which is achieved through the following:

- (a) There is one main point of pedestrian entry into the facility for visitors wanting to access the building, simplifying the monitoring of people entering the facility and providing safety and security for the residents. A maintenance ramp is provided at the rear SW corner from the Turquoise Crescent garden setback which is secure and only accessible by staff.
- (a) Access into the residential areas from the reception area is secure.
- (b) The internal landscaped courtyards and external garden areas are discreetly enclosed to prevent residents with cognitive issues from wandering off the site.
- (c) Windows and communal open space facing the carpark and adjacent landscape areas increase passive surveillance.
- (d) The carpark and pedestrian pathways are illuminated with low level bollard lighting to achieve compliance with the SEPP Seniors 20-lux lighting provisions facilitates passive surveillance of the parking/pathway areas.

4.14 Operations Overview

Staff

The nursing home operates 24/7 so that it is staffed at all times. The maximum employees on site at any one time occurs during the day shift between 7am and 3pm when around 36 staff are on duty at the same time.

Services

A summary of the proposed RACF services is provided below;

General practitioner visits, including the provision of dedicated consulting room(s) within the design of the Proposed Bossley home	Laundry Service – all personal items laundered on site.
Dental care visits	Café - Provision of a café available to all the RACF residents and their visitors, aged care staff and other visiting specialists.
Optometry care visits	Deliveries of pharmaceuticals, newspapers and magazines
Podiatry care visits	Excursions with aged care staff to local shopping centres and places of interest.
Physiotherapy services, including the provision of a room with appropriate equipment for rehabilitation exercises	Entertainment services which will include but not limited to singers, musicians etc
Spiritual Services	Food services (meals) prepared on site
Hairdressing salon, with in-house hairdresser by appointment	Multi-purpose room and audio lounges for residents to view the latest movies via the home's Foxtel channels and access to activities co-ordinated by a dedicated Activities Officer such as bingo, cards, craft and painting etc.

Table 5: RACF Services

Health & Wellbeing

Additionally, the RACF encompasses stimulating and varied recreation programs, focussing on maintaining an active and fulfilling lifestyle for all the residents.

Arts and crafts	Dancing and Guided exercise
Barbeques	Gardening
Bingo	Sewing, knitting and embroidery
Outings to the local centre & Lunch outings	Happy hour
Prayer services	Library and Reading groups
Concerts and entertainers	Music therapy
Cultural programs and international days	Trivia competitions
Current affair and discussion groups	Physio exercise groups

Table 6: RACF Activities

The porte cochere (3.350 clearance) is able to provide convenient and weatherproof transfer for frail/aged residents.

Deliveries

Deliveries and collections (eg food, other consumables and garbage) to the RACF will generally occur during normal working hours during the week. The RACF incorporates a loading dock on the southern side of the carpark which can accommodate up to 9.9m length trucks. Truck clearance of up to 3.8m is provided so as to accommodate the largest trucks (working height of 3.4m) servicing the RACF. Refer **Figure 53** below.

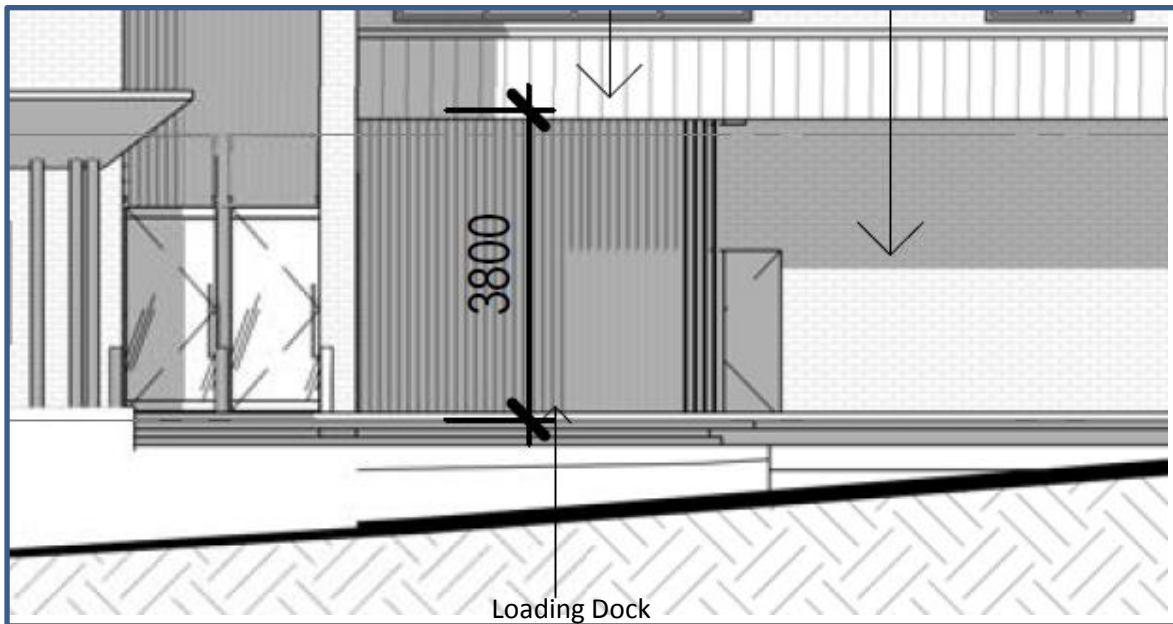


Figure 53: North elevation with loading dock clearance height denoted

Source: Jackson Teece

5.0 Planning Assessment

5.1 Fairfield Local Environmental Plan 2013 (FLEP2013)

Fairfield Local Environmental Plan 2013 extracts

Zone R2

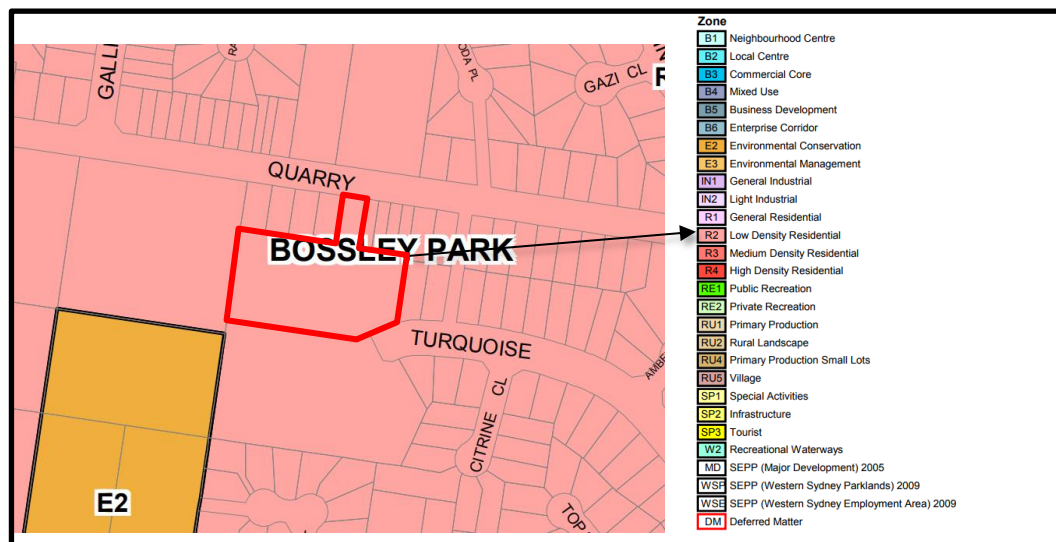


Figure 54: Land Zone Map extract

Source – FLEP2013

Zone R2 Low Density Residential

Objectives of zone

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

2 Permitted with consent

Attached dwellings; Bed and breakfast accommodation; Boarding houses; Building identification signs; Business identification signs; Child care centres; Community facilities; Dual occupancies; Dwelling houses; Educational establishments; Emergency services facilities; Exhibition homes; Exhibition villages; Flood mitigation works; Group homes; Health consulting rooms; Hospitals; Hostels; Information and education facilities; Places of public worship; Public administration buildings; Recreation areas; Respite day care centres; Roads; Secondary dwellings; Semi-detached dwellings; **Seniors housing**;

4 Prohibited Any development not specified in item 2 or 3

seniors housing means a building or place that is:

- a residential care facility, or
- a hostel within the meaning of clause 12 of State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004, or
- a group of self-contained dwellings, or
- a combination of any of the buildings or places referred to in paragraphs (a)–(c), and that is, or is intended to be, used permanently for:
- seniors or people who have a disability, or
- people who live in the same household with seniors or people who have a disability, or

(g) *staff employed to assist in the administration of the building or place or in the provision of services to persons living in the building or place, but does not include a hospital.*

Note. *Seniors housing is a type of residential accommodation—see the definition of that term in this Dictionary*

residential care facility means accommodation for seniors or people with a disability that includes:

- (a) *meals and cleaning services, and*
 - (b) *personal care or nursing care, or both, and*
 - (c) *appropriate staffing, furniture, furnishings and equipment for the provision of that accommodation and care,*
- but does not include a dwelling, hostel, hospital or psychiatric facility.*

Note. *Residential care facilities are a type of seniors housing—see the definition of that term in this Dictionary.*

Comment: Fairfield LEP 2013 **R2 residential zone** permissible uses (with consent) include seniors housing and respite day care centres.

“Seniors Housing” (which includes RACFs) is thus a permitted use under both the Fairfield LEP 2013 and pursuant to State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004 (*SEPP Seniors*). Where there is an inconsistency (eg FSR, height), the SEPP provisions prevail.

The objectives of the Low Density Residential Zone are:

- *To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provides facilities or services to meet the day to day needs of residents.*

Pursuant to Clause 2.4(2) of FLEP 2013, the consent authority must have regard to the objectives for development in a zone when determining an application in respect of land within the zone.

The proposed development will provide a development outcome consistent with the objectives of the R2 Low Density Residential Zone as detailed in **Table 7** below.

Objective	Comment
<i>To provide for the housing needs of the community within a low density residential environment.</i>	The proposed development will replace a 100 bed RACF with a new 151 aged care beds RACF including 16 x dementia specific beds which has a significant social benefit and will assist in meeting the demand for seniors requiring high care in the locality.
<i>To enable other land uses that provides facilities or services to meet the day to day needs of residents.</i>	The proposed development provides housing for seniors which is consistent with the first objective of the R2- Low Density Residential Zone and is consistent with the long established usage of the site as an aged care facility.

Table 7 – R2 zone objectives

Part 4 Principal Development Standards

4.1 Min Subdivision Lot size

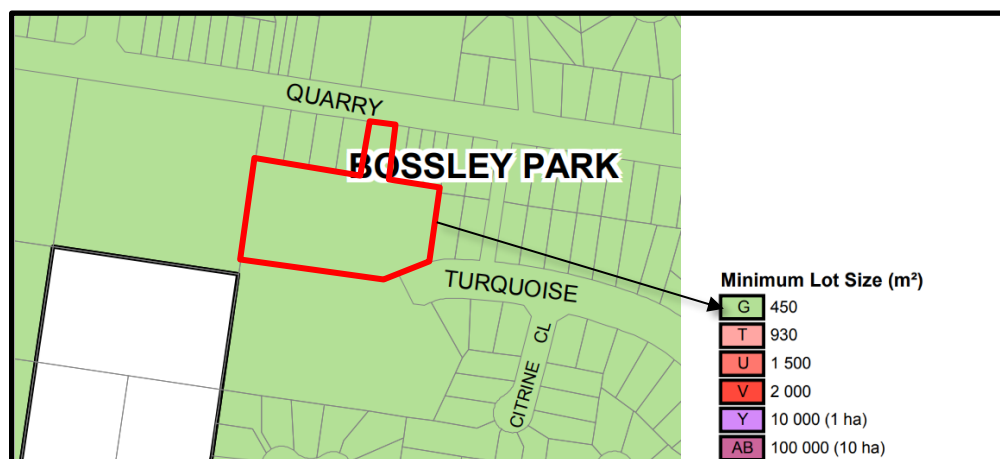


Figure 55: Min. Subdivision Lot Size Map.

Source FLEP2013

Comment: The minimum lot size for the site is **450m²**. The 7,528m² site exceeds this minimum lot size.

4.3 Height of Buildings

4.3 Height of buildings

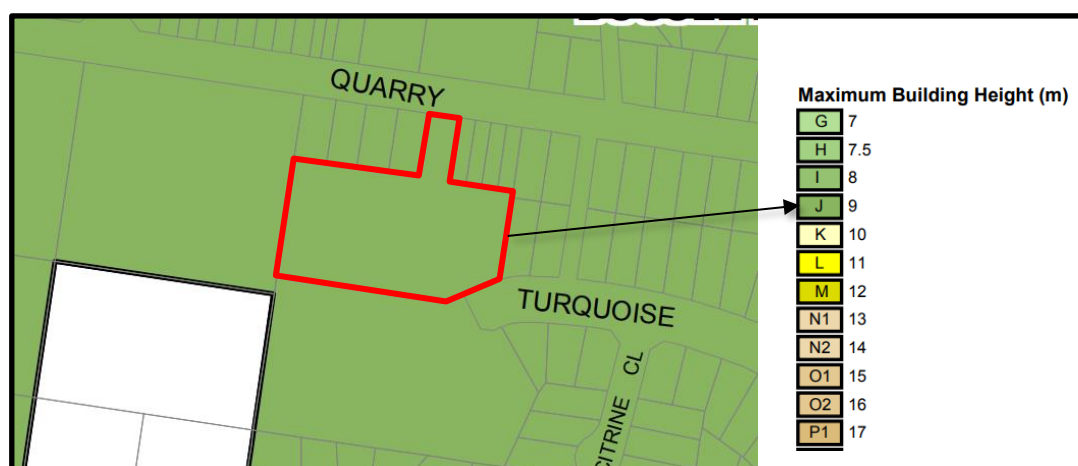


Figure 56: Height of Buildings Map

Source – FLEP2013

4.3 Height of buildings

(1) The objectives of this clause are as follows:

- (a) to establish the maximum height for buildings,
- (b) to ensure that the height of buildings complements the streetscape and character of the area in which the buildings are located,
- (c) to minimise the visual impact, disruption of views, loss of privacy and loss of solar access to existing development.

(2) The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.

Comment: The LEP height control is **9m** (measured to top of roof). The proposed roof height will slightly exceed this on the eastern part of the RACF. The R2 zoned site under the FLEP 2013 does not permit residential flat buildings so that notwithstanding the 9m LEP height control, the 8m and 2 storey development standards for height under SEPP Seniors Clause 40(4)(a) and (b) are the applicable controls and trigger a cl.4.6 request for variation.

4.4 FSR

4.4 Floor space ratio

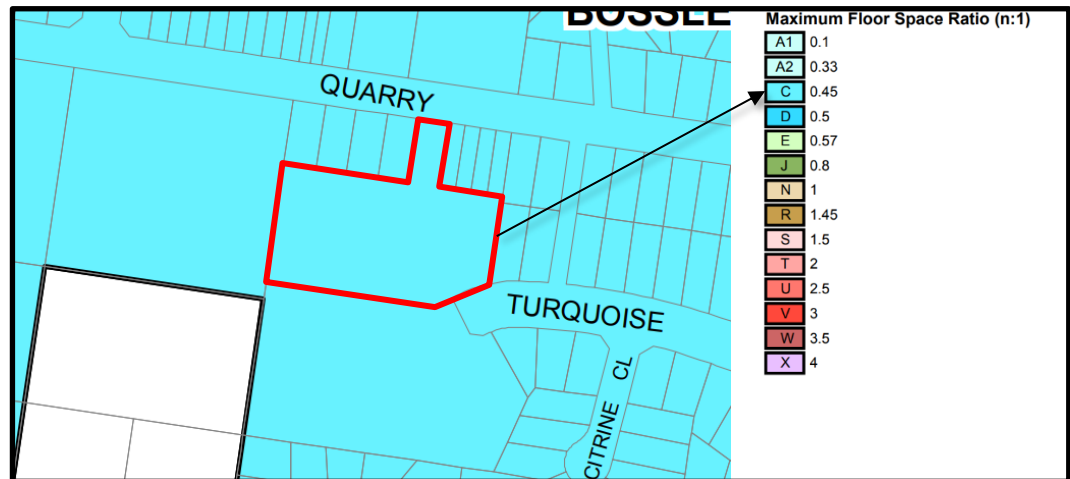


Figure 57: FSR Map extract (Permitted FSR is **0.45:1**)

Source – FLEP2013

4.4 (1) The objectives of this clause are as follows:

- (a) to provide an appropriate density of development consistent with the established centres hierarchy,
 - (b) to ensure building density, bulk and scale make a positive contribution toward the desired built form as identified by the established centres hierarchy.
- (2) The maximum floor space ratio for a building on any land is not to exceed the floor space ratio shown for the land on the Floor Space Ratio Map.

Comment: Having regard to LEP Clause 4.4 the permitted FSR is **0.45:1**. However, as the site is proposed to be developed for a Residential Aged Care facility, an **FSR 1:1** can be achieved pursuant to SEPP Seniors Cl 48(b) which prevails over the LEP FSR controls. The proposal for **FSR 0.94:1** (measured pursuant to SEPP Seniors definition) will meet the SEPP's deemed to comply FSR criteria.

Clause 6.2 Earthworks

6.2 Earthworks

Requires Council prior to granting development consent for earthworks to consider:

- (a) the likely disruption of, or any detrimental effect on, existing drainage patterns and soil stability in the locality of the development,
- (b) the effect of the development on the likely future use or redevelopment of the land,
- (c) the quality of the fill or the soil to be excavated, or both,
- (d) the effect of the development on the existing and likely amenity of adjoining properties,
- (e) the source of any fill material and the destination of any excavated material,
- (f) the likelihood of disturbing relics,
- (g) the proximity to, and potential for adverse impacts on, any waterway, drinking water catchment or environmentally sensitive area,
- (h) any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development

Comment: The development proposes a mix of cut and fill, with the excavation proposed along the western boundary and centrally within the site to accommodate the lower ground floor (back of house areas within a basement). Excess of cut (6745m³) will be removed from the site. An earthworks plan prepared by Henry and Hymas consulting engineers is provided at **Annexure 4**.

6.5 Terrestrial Biodiversity

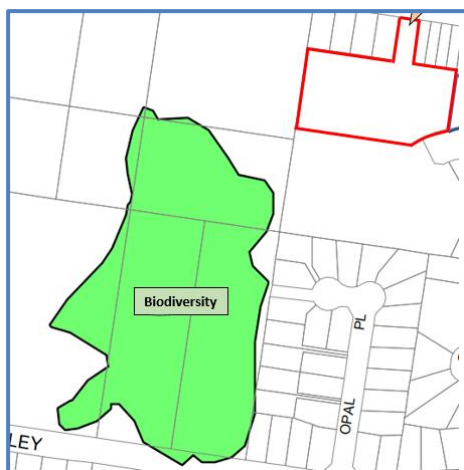


Figure 58: Biodiversity Map extract (CPEEC) Source – FLEP2013

6.5 Terrestrial biodiversity

- (1) *The objective of this clause is to maintain terrestrial biodiversity by:*
 - (a) *protecting native fauna and flora, and*
 - (b) *protecting the ecological processes necessary for their continued existence, and*
 - (c) *encouraging the conservation and recovery of native fauna and flora and their habitats.*
- (2) *This clause applies to land identified as “Biodiversity” on the Terrestrial Biodiversity Map.*

Comment: The adjoining site to the SW is a mapped biodiversity area – identified as Cumberland Plain Woodland (CPW) under the Fairfield Council Bossley Road Reserve Plan of Management (2001). The RACF site is not mapped as a terrestrial biodiversity area. The proposed development retains the majority of the CPW trees and suitable CPW plantings are to be incorporated in the landscape design. An Ecology Assessment including 5 Part Test has been prepared by “Cumberland Ecology”.

6.9 Essential Services

6.9 Essential services

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required:

- (a) *the supply of water,*
- (b) *the supply of electricity,*
- (c) *the disposal and management of sewage,*
- (d) *storm water drainage or on-site conservation,*
- (e) *suitable vehicular access.*

Comment: Essential services such as water, sewage and electricity are available to the existing RACF site, sufficient to service the proposed RACF. The new RACF development will maintain access to Quarry Road. Refer to Services Statements prepared by EFWF at **Annexure 16**. A new electrical substation at the SW corner will be provided along Turquoise Crescent frontage which will necessitate changes to the existing easement. This can be addressed via DA conditions. The drainage scheme incorporates OSD and directs stormwater primarily to Quarry Road with some directed to Turquoise Crescent.

Table 8: FLEP2013 key controls

5.2 State Environmental Planning Policy (Housing for Seniors or people with a Disability) 2004 (SEPP Seniors) 2004

The following provides a summary of the key controls and provisions within State Environmental Planning Policy (Housing for Seniors or people with a Disability) 2004 (*SEPP Seniors*) that would apply to a Seniors development.

Clause 4 – Land to which Policy Applies

SEPP Seniors sets aside Local planning controls and also allows Seniors Housing development on land when it ordinarily wouldn't be permissible.

Comment: Seniors Housing is a permitted use in the R2 zone under both the FLEP2013 and SEPP Seniors. Accordingly, both apply but where there is an inconsistency (e.g. height, FSR) the provisions contained in the SEPP prevail.

Clause 26 – Location and access to facilities

Clause 26 of SEPP Seniors requires seniors housing to be located within 400m of specific services and facilities or have a public transport service that is located within 400m of the site that can access the specified facilities and services. Access to the public transport service must be via a suitable pathway which must comply with specific gradients stipulated in cl. 26, that identify a primary gradient of 1 in 14 (7.14%) with some steeper gradients for shorter distances.

Comment: A bus service along Quarry Road provides direct access to Liverpool stations/shops and services. The site has a bus stop immediately adjacent to the Quarry Road frontage. The eastbound bus stop is located diagonally across Quarry Road and accessed via 93m of paved walkway/road. A pedestrian refuge crossing provides a safe crossing point to access the eastbound bus stop. Both bus stops have a bus shelter. A lineal survey has been undertaken and is provided at **Annexure 1**. Gradients to the bus stop(s) are between 4% and 7%. Some minor upgrade works may be necessary (eg pram ramps to cross Quarry Road at the refuge crossing).

Clause 27 – Bush fire prone land

Clause 27 of SEPP Seniors advises that a consent authority must not consent to carry out development on land identified on a bush fire prone land map certified under section 10.3 of the Act as “Bush fire prone land—vegetation category 1”, “Bush fire prone land—vegetation category 2” or “Bush fire prone land—vegetation buffer” unless the consent authority is satisfied that the development complies with the requirements of the document titled *Planning for Bush Fire Protection*, December 2006. Further matters for consideration by the Consent Authority relating to the means of access to and egress from the general location, are provided in Clause 27(2). These are provided as follows;

- (a) *the size of the existing population within the locality,*
- (b) *age groups within that population and the number of persons within those age groups,*
- (c) *the number of hospitals and other facilities providing care to the residents of the facilities within the locality, and the number of beds within those hospitals and facilities,*
- (d) *the number of schools within the locality and the number of students at those schools,*

- (e) existing development within the locality that has been carried out under this Policy or State Environmental Planning Policy No 5—Housing for Older People or People with a Disability,*
- (f) the road network within the locality and the capacity of the road network to cater for traffic to and from existing development if there were a need to evacuate persons from the locality in the event of a bush fire,*
- (g) the adequacy of access to and from the site of the proposed development for emergency response vehicles,*
- (h) the nature, extent and adequacy of bush fire emergency procedures that are able to be applied to the proposed development and its site,*
- (i) the requirements of New South Wales Fire Brigades.*

Comment: A small portion of the site in the south-western corner is mapped as Vegetation Buffer. Therefore the application triggers the “Integrated Development” provisions S4.46 of the EP&A Act 1979.

The site currently contains a 100 bed RACF for frail/aged residents which will be increased to 151 beds within 132 bedrooms. The site itself does not contain bushland however Bossley Road Reserve is located to the SW of the subject site. Primary access to the aged care facility will be maintained to Quarry Road which is located on the northern side of the RACFSEPP Seniors cl 27 requires the consent authority to have regard to other seniors developments, schools, hospitals and the like in the vicinity and adequacy to evacuate the site in an emergency. A school is located to the SW of the RACF site which directly adjoins the western boundary of the Bossley Road Reserve. Access to the school is from Marconi Road which is remote from the subject site entry on Quarry Road. An existing seniors village is located immediately to the south of the subject site (Bossley Gardens) at No 26 Turquoise Crescent. Quarry Road is a main thoroughfare so that if required, the RACF could be easily evacuated via an eastern or western route along Quarry Road. The RACF driveway to Quarry Road provides two-way access which can accommodate 9.9m trucks which can enter and turn around on-site. Pre-DA advices were sought from RFS and required building setbacks to the bushland have been incorporated so that the resulting development achieves significantly greater setbacks to the SW corner (increased from 8m to 31m) to achieve improved bushfire safety. Refer to accompanying Bushfire Report prepared by Australian Bushfire Protection Planners at **Annexure 10** which addresses bushfire issues in more detail.

Clause 28 – Water and Sewer

Clause 28 of SEPP Seniors contains provisions which relate to development sites having adequate facilities for the removal or disposal of sewerage and access to reticulated water system. Clause 28(1) states that the consent authority must not consent to a development application unless *‘the consent authority is satisfied, by written evidence, that the housing will be connected to a reticulated water system and have adequate facilities for the removal or disposal of sewage.’*

Comment: The existing RACF premises has reticulated water supply and sewerage disposal which will have capacity to service the proposed development

Water: There are two existing Sydney Water watermains available for connection along the Quarry Rd frontage. A 100NB CICL main and 150DICL main are located on the Southern side of Quarry Rd. These existing mains should have adequate capacity to service the domestic water supply requirements for the development.

Fire Services: There are two existing Sydney Water watermains available for connection along the Quarry Rd frontage. A 100NB CICL main and 150DICL main are located on the Southern side of Quarry Rd. Provisions to satisfy Australian Standards for fire services will readily be accommodated in the proposed development.

Sewer: There are two Sydney Water sewer mains available for connection one located at Quarry Rd and one at the Eastern side of the site boundary. Both these drains are 150mm earthenware and should be more than adequately cope with the loads expected from the development

A services report prepared by EFWF is provided at **Annexure 13** .

Clause 30- Site Analysis

Clause 30 requires a detailed site analysis to be undertaken which incorporates site survey information, natural drainage features, vegetation, micro climates, views, overshadowing, neighbour buildings to the north including windows and balconies that may overlook the subject site, privacy of adjoining private open space, differences in ground levels, built form and character, distance to bus stops and shops, sources of nuisance (eg school, church carpark) and adjoining uses. A site analysis plan prepared by Jackson Teece Architects is at **Annexure 2** and extract is below;



Figure 59: Site Analysis Plan

Source Jackson Teece Architects

Clause 33- Neighbourhood amenity and streetscape

The site has two street frontages, one to Quarry Road and the other to Turquoise Crescent. Surrounding development comprises a mix of single dwellings, multi-unit housing, church property and a nearby school. The proposal maintains reasonable neighbourhood amenity and appropriate residential character by:

- The RACF is set back a substantial distance (40m) from Quarry Road and is accessed via a battle-axed driveway.
- Using building form and siting that relates to the site and takes into account the (low level) bushfire hazard in the south-western corner;
- Providing a large L shaped setback in the north-eastern corner to maintain the majority of a stand of Grey Box trees and reduce the bulk and overshadowing of neighbouring private open space.
- Providing a landscaped area at the Turquoise Crescent frontage that provides landscaping within the development to integrate the building form into the streetscape;

Refer to Landscape streetscape perspective at **Annexure 3** and **Figure 59** above.

Clause 34- Visual and acoustic privacy

The proposed design should have consideration of any additional acoustic impacts and any visual impacts in terms of privacy between the Opal site and the neighbouring townhouses to the south, dwellings to the north and east and to a lesser extent, the church property to the west. The building is designed to take into account the location of neighbouring residential properties living areas, as:

- The “north-wing” (east side) is set back minimum 4.85m to the residential neighbour boundary. The end corridor window incorporates window louvres to obstruct sightlines to the north. (Refer to Jackson Teece North Elevation Drawing DA 300) The first floor sitting room is oriented to have a small east facing window directed to the dementia garden. The building is setback 17.7m from No 25 Turquoise Crescent boundary so that adequate setback and landscape screening is provided for this and other bedrooms which have windows facing east towards No 25 Turquoise Crescent;

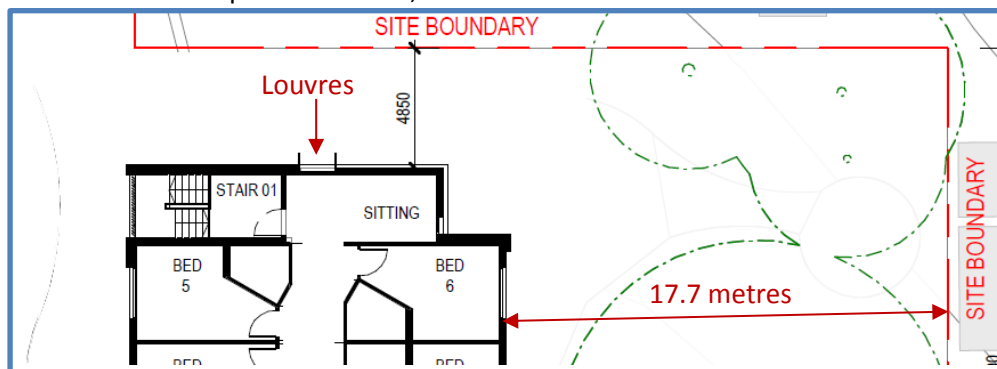


Figure 60: - Extract First Floor Plan

Source: Jackson Teece

- The “east-wing” bedrooms with an outlook to the north, are setback **26.39m** from the northern property boundary;

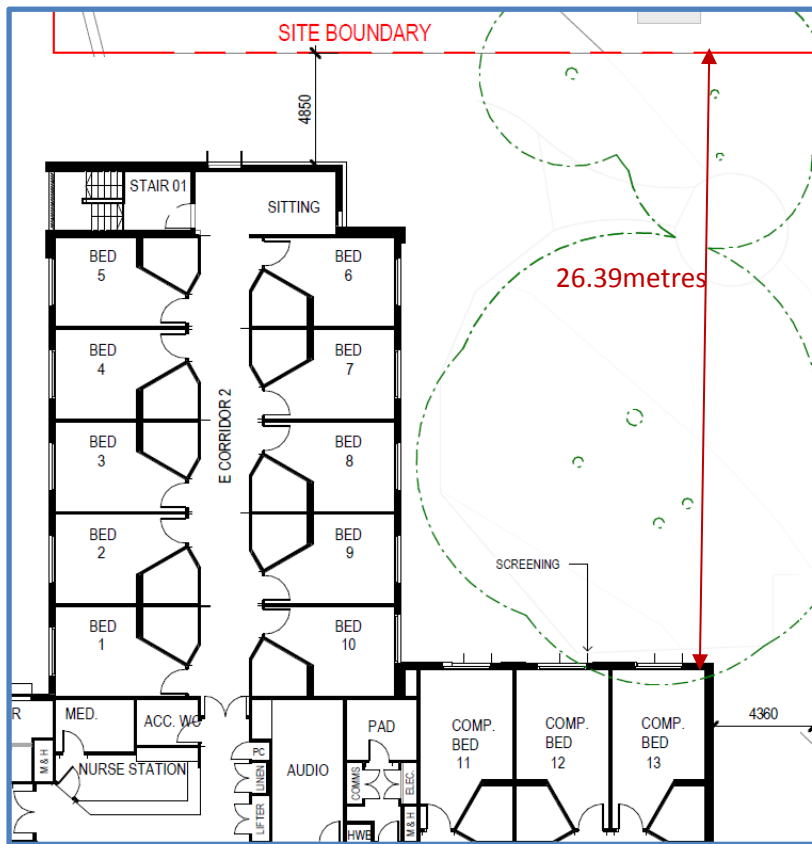


Figure 61: Extract First Floor Plan Source: Jackson Teece

- The “east-wing” eastern elevation is setback **4.36m** setback from No 25 Turquoise Crescent western boundary. First Floor Bed 14 window is oriented to face the front yard of No 25 so that no louvre window treatment is proposed.

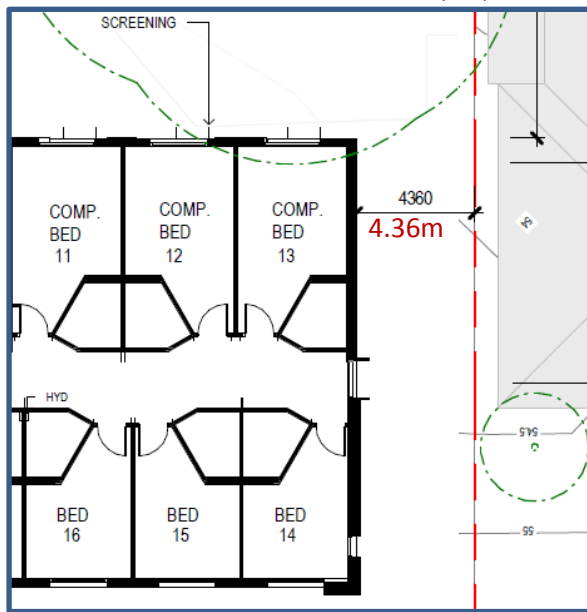


Figure 62:- Extract First Floor Plan Source: Jackson Teece

- Southern elevation windows face the southern fence adjoining the pathway (right of way) across No 26 "Bossley Gardens". The single storey villas are off-set from the RACF bedroom windows and are screened by an existing 1.8m high metal fence on the southern side of the pathway.

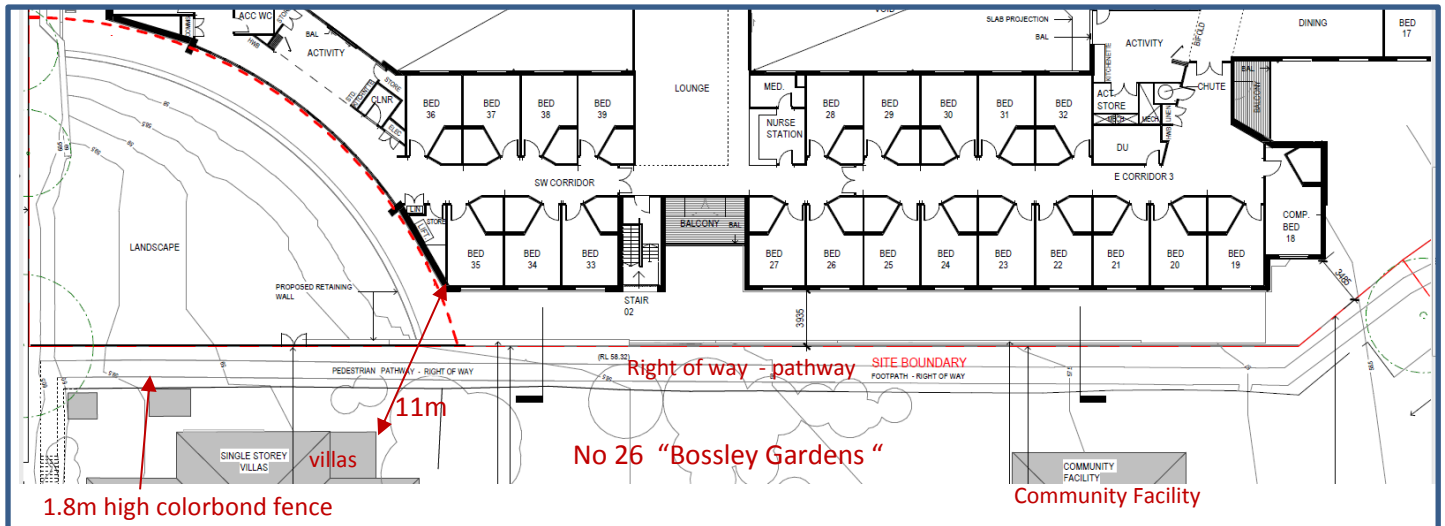


Figure 63:- Extract First Floor Plan Source: Jackson Teece

- The first floor "west wing" bedrooms with an outlook to the west are oriented to the church carpark. All church neighbour trees along this boundary are to be retained and protected;



Figure 64:- Extract First Floor Plan Source: Jackson Teece

- First floor “west wing” bedrooms at the NW corner face are oriented east/west to mitigate privacy issues to residential properties to the north with the exception of a high sill level window to first floor Bedroom 47 which does not allow occupants to view downwards. The end corridor 2 window incorporates angled louvres to mitigate overlooking rear yards to the north. Refer Jackson Teece north elevation/materials drawing DA 300 at **Annexure 2** for window louvre details. The remainder northern bedrooms have substantial 18m setbacks to the neighbouring boundary.

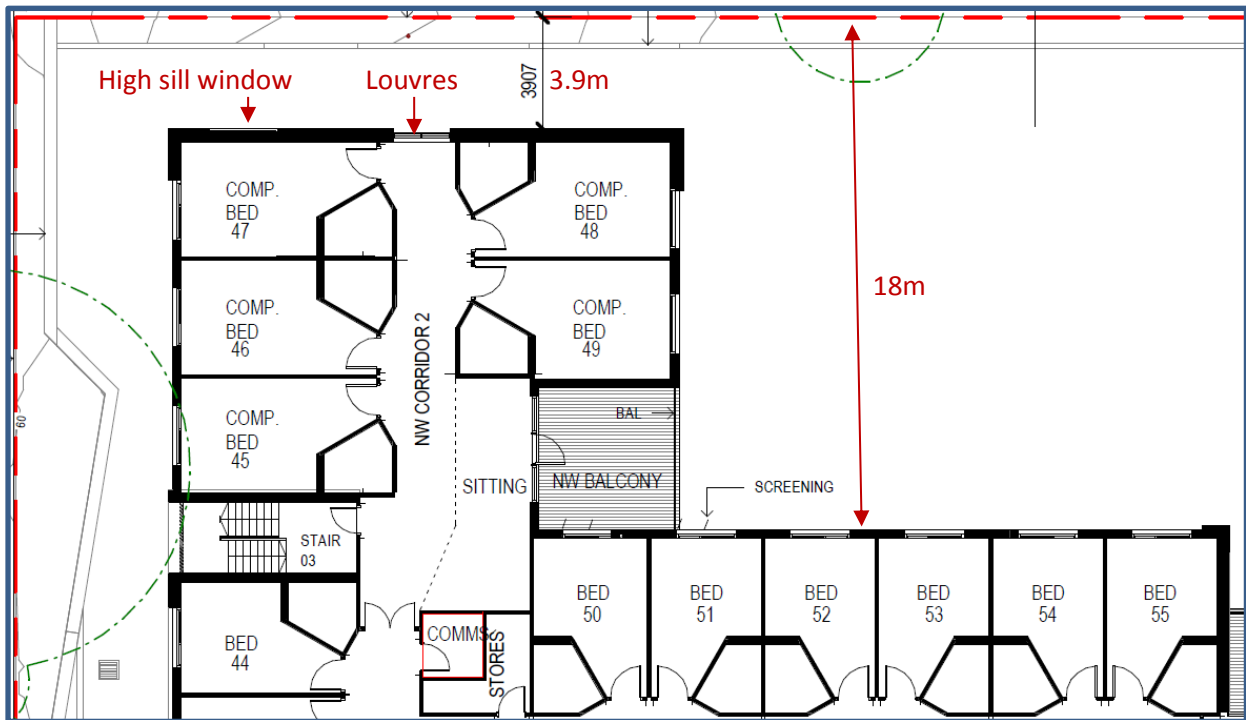


Figure 65:- Extract First Floor Plan

Source: Jackson Teece

Clause 35 – Solar Access and design for Climate

The SEPP does not stipulate standards in respect of solar access to residential care facilities. The details of the design provide adequate opportunity for residents to access sunlight and daylight both from individual rooms, within the central courtyards, terraces/balconies and from the outdoor garden areas.

The proposed RACF is located to the south of Quarry Road residential properties, a church carpark adjoins the western boundary and the two neighbouring seniors villas and two storey (vacant) community facility to the south are uphill and sufficiently separated from the RACF so are not adversely impacted. The only residential property directly overshadowed during the mid winter period (9am – 3pm) is No 25 Turquoise Crescent. Solar analysis of the proposed development including elevations illustrate that the RACF will allow adequate sunlight into their western room windows till after 2.30pm mid-winter (refer drawing SK030 at **Annexure 13**) and the shadows (including additional shadow cast by the section of building over 8m in height) largely fall across the front yard.

Shadow plans prepared by Jackson Teece Architects are provided at **Annexure 2 and Annexure 13**. Key extracts are below;

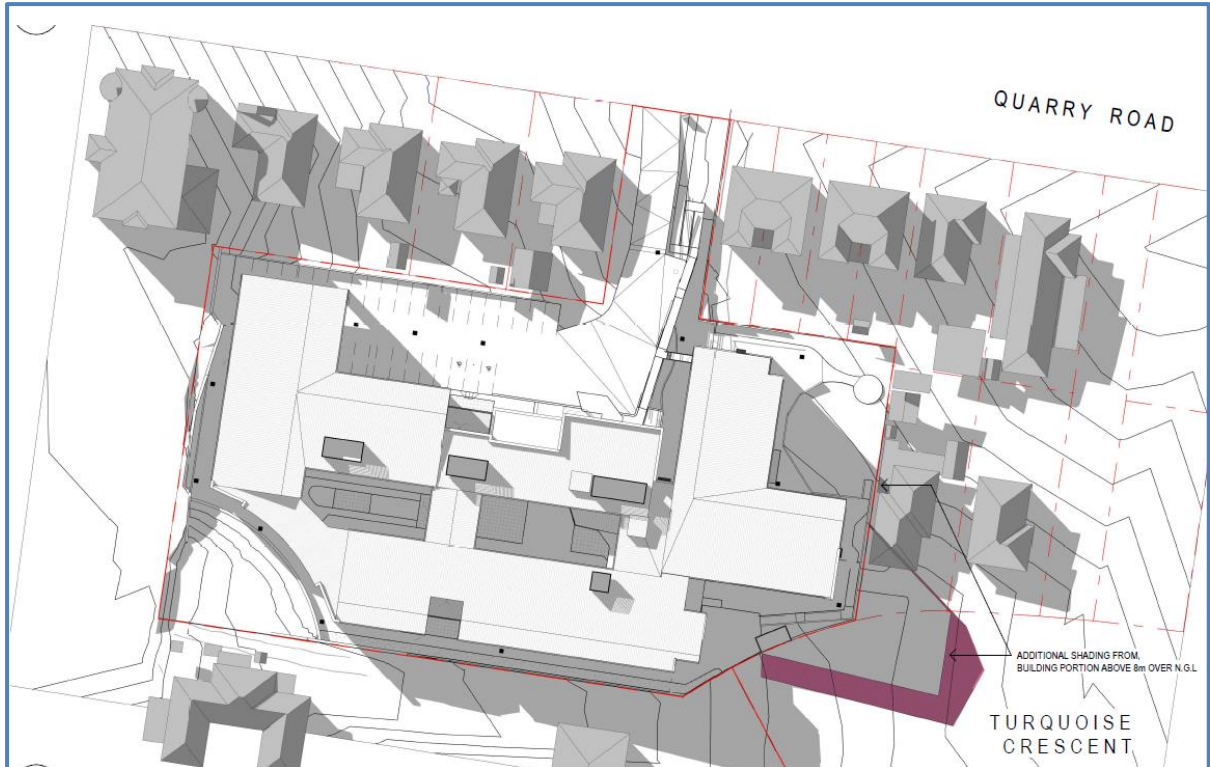


Figure 66: Shadow Site Plan 3pm on 21 June

Source: Jackson Teece

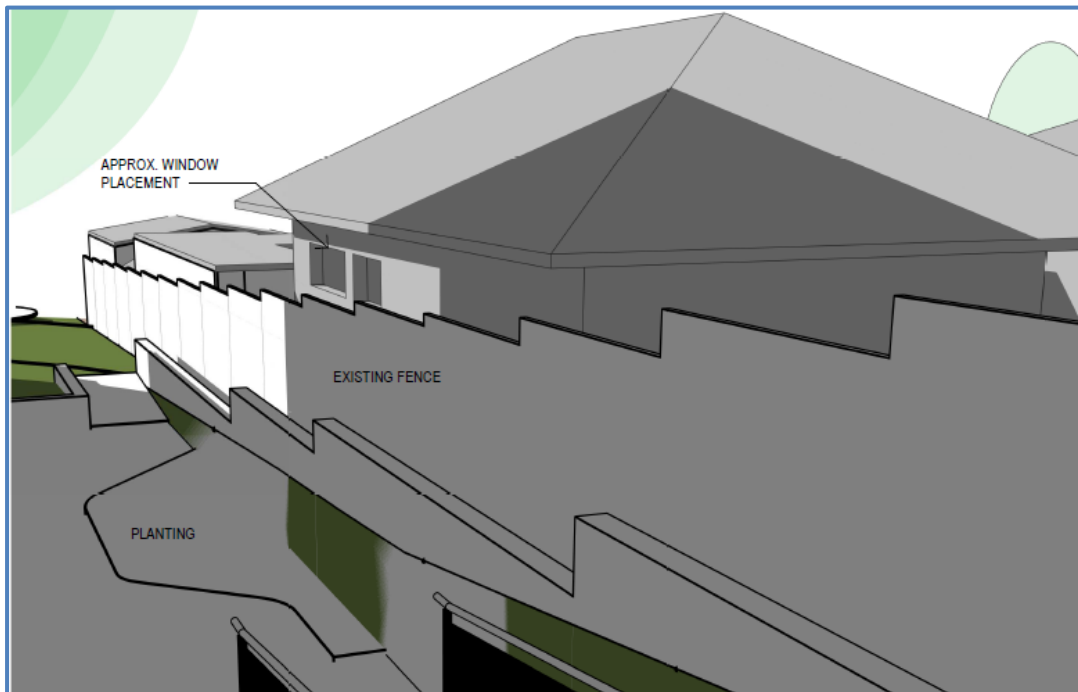


Figure 67: Shadow Elevation Plans 2.30pm on 21 June

Source: Jackson Teece

Clause 36- Stormwater

The majority of the site falls from south to north where the site has frontage to Quarry Road. The majority of the site stormwater pipes are proposed to connect to the existing lintel pit adjacent to the site entry at Quarry Road. The proposal includes a 99m³ On-Site-Detention (OSD) tank under the entry area to the ground floor of the new RACF. The proposed landscape area at the south-eastern corner of the site by-passes the stormwater system and naturally falls towards Turquoise Crescent.

Clause 37- Crime Prevention

The aged care facility is a secure facility given many residents have dementia. The design/landscape proposal will have regard to encouraging crime prevention adopting Crime Prevention Through Environmental Design (CPTED) principles. Low level lighting to pathways and carparking areas is required to comply with SEPP seniors lighting provisions.

Clause 38 - Accessibility

The RACF has been designed to ensure that the internal and external resident areas have continuous accessible paths of travel to all rooms and communal facilities. 2 x disabled parking spaces are provided near the main building entry off Quarry Road driveway. Compliant wheelchair access is to be provided to the street/bus stops via a new pedestrian pathway. An Access report prepared by *Morris Goding Access Consulting* is provided at **Annexure 7**.

Clause 39 – Waste Management

The concept plan has provision for on-site waste servicing by providing a garbage storage room, loading dock and adequate maneuvering for medium rigid vehicles (MRV) which includes waste trucks. A detailed Waste Management Operational Brief prepared by Universal Foodservice Designs is provided at **Annexure 11**.

Clause 40 – Development Standards – minimum sizes and building height

Division 1 General	
40 Development Standards – minimum sizes and building height	
Site Size	The prescribed minimum lot size under Clause 40 (2) of SEPP Seniors is 1000m² . <i>Comment:</i> The existing site = 7528m²
Site Frontage	The site frontage must be at least 20m wide measured at the building line pursuant to Clause 40 (3) of SEPP Seniors. <i>Comment:</i> No 56 Quarry Road frontage is 16.43 metres wide and the Turquoise Crescent frontage is 22.05 metres wide.

<p>Building Height</p> <p>(a) The height of all buildings must be 8 metres or less (from the ceiling to existing ground level).</p> <p>(b) The building adjacent to a boundary must not be not more than 2 storeys in height</p>	<p>The proposal exceeds the 8m building height control in the east of the site, where a 3 storey element has a maximum building height to the ceiling of the NE wing is 9.2m and the eastern wing is up to 8.8m ceiling height. This exceeds the height control by 1.2m / 0.8m respectively but diminishes to 8m ceiling height a short distance to the west. The non-compliant height comprises approximately 10% of the first floor ceiling area. The western part of the building is 2 storeys, the mid section is two storeys over a basement and the eastern wing comprises 3 storeys.</p> <p>The proposed variation to the building height control require the submission of a Clause 4.6 variation with the application, a copy of which is provided at Annexure 13. Notably;</p> <ul style="list-style-type: none"> • The proposed FSR is 0.94:1 which complies with SEPP Clause 48; • The proposed “landscape area” is 2746m² • The building is required to be sited 31m away from the north-east corner of the reserve to achieve suitable bushfire setbacks; • Locating the additional floor area on the eastern side occurs where the site falls to allow a basement/lower ground floor level whilst maintaining level/accessible floors above. • Additional setbacks have been introduced to accommodate retention and protection of the Grey Box trees located on the eastern side of the site which makes the building more compact; • The additional building height will not result in significant overshadowing or privacy impacts on the adjacent residential properties refer shadow diagrams included at Annexure 2;
<p>(c) A building located in the rear 25% of the site must not exceed 1 storey in height</p>	<p>The site has two frontages and no “rear” so that SEPP Cl 40(4)(c) single storey in the rear 25% of the site does not apply.</p> <p><u>Note:</u> State Planning Panels have previously determined R2 and R3 zoned sites with multiple frontages does not trigger this development standard. Examples include;</p> <ul style="list-style-type: none"> • DA 189/2015 - JRPP No. 2015SYW096 at 9-13 Gelibu Pde and 2-6 St Hilliers Road Auburn • DA2015/210/1 - JRPP No. 2015SYW094 at 11 Pastoral Circuit, Pemulwuy • DA 1434/2013 – JRPP No. 2014SYW025 at 9-17 Hinemoa Ave Normanhurst • DA0341/16 - 2016SYW154 at 144 & 146 Killeaton Street, 1 Yarrabung Road and 1, 3 and 6, College Crescent, St Ives • DA-77/2016 - 2016SYE103 - 12-18 Leigh Avenue and 34 Skinner Ave, Riverwood (approved 10-1-2018)

Table 9: SEPP Seniors Clause 40

PART 7 DEVELOPMENT STANDARDS THAT CANNOT BE USED AS GROUNDS TO REFUSE CONSENT	
Division 1 General	
Provisions	Comment
Clause 46 Inter-relationship of Part with design principles in Part 3 Nothing in this Part permits the granting of consent to a development application made pursuant to this Chapter if the consent authority is satisfied that the proposed development does not demonstrate that adequate regard has been given to the principles set out in Division 2 of Part 3.	
Division 2 Residential Care Facilities	
Provisions	Comment
Clause 48 Standards that cannot be used to refuse development consent for <u>residential care facilities</u>. A consent authority must not refuse consent to a development application made pursuant to this Chapter for the carrying out of development for the purpose of a residential care facilities on any of the following grounds:	
(a) building height: if all proposed buildings are 8 metres or less in height	See above discussion at Clause 40
(b) density and scale: if the density and scale of the buildings when expressed as a floor space ratio is 1:1 or less,	Density: The proposed RACF achieves a gross floor area of 7111m² which equates to FSR 0.94:1 . Complies.
(c) landscaped area: if a minimum of 25 square metres of landscape area per residential care facility bed is provided.	<p>Landscape: 25m² per RACF bed (150 beds x 25m² = 3750m² landscape area required. Total landscape area = 2746m² or 36% of the site) . This equates to 18m² per resident bed.</p> <p>It is noted that the provisions of this SEPP clause do not impose any limitations on the grounds on which a consent authority may grant development consent.</p> <p>The Department of Planning & Environment (DOPE) 2004 guidelines which accompany the SEPP “A guide for councils and applicants Housing for seniors or people with a disability”, provides the following advice on the interpretation of cl 48(c) requirement:</p> <p><i>“A potential conflict arises in relation to landscaping. The re-development of many existing residential care facilities or even new residential care facilities in established areas will be on sites that would not allow much land to be set aside for landscaping while achieving a 1:1 FSR. The most important external issues for these sites are the impacts on streetscape and neighbours. High amenity for residents can be achieved within the building without meeting a high landscape area standard. The clause 70 landscape standard of 25m² per bed, i.e. a standard that cannot be used to refuse consent, is not a minimum standard per se, that must be met. It is possible and reasonable for consent to be given to facilities that have less than 25m² per bed landscaped area if they take other issue such as streetscape and impact on neighbours into account”.</i></p>

	<p>While the landscape area provision is less than the deemed to comply criteria, the design achieves;</p> <ul style="list-style-type: none"> • Adequate landscape setbacks/screening to the street frontages • Adequate landscape screening along the neighbour boundaries • Retention of significant trees particularly along the more sensitive eastern boundary where height exceeds 8m; • Neighbour trees are retained and protected by suitable setbacks • The built form/landscape scheme ensures retention and protection of the CPW group in a large courtyard garden at the NE corner which provides high quality and functional/accessible communal areas for residents, many of whom will have limited mobility. • A suitable balance between resident amenity/ screening and minimising potential bushfire impacts. • A variety of landscape garden options for residents including accessible paved courtyard gardens which provide visual outlook from inside the development and larger garden areas. • In comparable facilities operated by Opal Aged Care the average age of occupants is 85 years and over and the majority of the occupants will have some form of disability and impairment (such as dementia). Upper level balconies are provided with varying sizes and orientation which provide smaller outdoor amenity options. These are particularly well suited to frail/aged residents with limited mobility who are less inclined to travel longer distances to ground level gardens. <p>In addition, Opal will provide recreational activities within the facility tailored to the specific interests/needs of residents. The building is considered to have an appropriate bulk and scale. Façade modelling and generous setbacks from boundaries results in a development with an appropriate relationship to the streetscape and neighbouring properties. It is considered that the provision of landscaped area is appropriate for the development and the location.</p>
<p>(d) Parking for residents and visitors: if at least the following is provided:</p> <ol style="list-style-type: none"> 1 parking space for each 10 beds in the residential care facility (or 1 parking space for each 15 beds if the facility provides care only for persons with dementia), and 1 car space suitable for an ambulance. 	<p>Parking: For 151 RACF beds the SEPP requires 15 visitor spaces plus staff parking (1 per 2 staff on duty) – 18 spaces for 36 staff = <u>total minimum 33 spaces</u> plus ambulance space.</p> <p>The proposed scheme provides 33 at grade car parking places plus an ambulance bay adjacent to the Porte cochere to facilitate convenient /all-weather resident transfers.</p>

Table 10: SEPP Seniors Part 7

5.3 Integrated Legislation

5.3.1 Biodiversity Conservation Act

The Biodiversity Conservation Act (BC Act) is State legislation that lists threatened species and ecological communities. Cumberland Plains Woodland (CPW) occurs in the form of a patch of six *Eucalyptus moluccana* (Grey Box) in the east of the subject site and conforms to the state listed Critically Endangered Ecological Community under the TSC Act. As the patch size of the community occurring in the subject site is less than 0.5 ha and the understorey is predominantly exotic, the community only conforms to the TSC Act listing, and not the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act) listing for the community. Cumberland Plain Woodland occurs in larger patches in the wider locality, including the patch south-west of the subject site located east of Bossley Park Public School. The remainder of the vegetation within the subject site consists of garden/landscaping and does not conform to any listed endangered ecological community. There were no naturally occurring threatened fauna or flora species found by the consultant ecologist within the subject site. Further assessment is provided in the Ecology report at **Annexure 5**.



Figure 34: CPW trees at NE corner of subject site

5.3.2 Environment Protection and Biodiversity Conservation Act 1999

The Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC) is Federal legislation that provides for the listing of nationally threatened native species and ecological communities, native migratory species and marine species. This includes the critically endangered Cumberland Plain Woodland. As the patch size of the community on the subject site is less than 0.5 hectares and the understorey is predominantly exotic, the community does not conform to the EPBC Act listing. Accordingly, there is no assessment or approval required under this legislation.

5.3.3 Rural Fires Act 1997

The adjoining 3 hectare bushland reserve to the south-west is bushfire mapped (Category 2) and the buffer extends over a very small area (few square metres) onto the RACF site at the SW corner.



Figure 34: Bushland on adjoining school to south - west (viewed from SE corner of No 56)



Figure 35: Cumberland Plain Woodland bushland on adjoining school to south west of RACF site

The Rural Fires Act 1997 requires a Bush Fire Safety authority to be issued for development of bush fire prone land for a special fire protection purpose. Pursuant to Clause 100B of the Act, a “Special Fire Protection Purpose”.

Seniors Housing is a “Special Fire Protection Purpose” so that it is captured by the requirements of EP&A Act Section 4.46 (formerly s91) and Section 100B of the Rural Fires Act. Accordingly the application will be submitted as “**Integrated Development**” with the required RFS referral fee.

Pursuant to bushfire advices, a 31m minimum setback at the at the NE corner of the reserve is provided, and furthermore, recommended building materials/planting species for fire prone areas will be adopted in the architectural and landscape drawings.

5.4 Other State Planning Policies

5.4.1 State Environmental Planning Policy No. 19 - Bushland in Urban Areas

The subject site adjoins a Council owned bushland reserve to the south-west which is zoned E2 Environmental Conservation (Lot 102 DP 615510). Refer **Figure 54** zoning map. Accordingly the SEPP 19 provisions apply.

Council's adopted Plan of Management for the Bossley Road Reserve (2001) states as follows;

"The bushland vegetation has been identified by the NSW National Parks and Wildlife Service (NPWS) as a Cumberland Plain Endangered Ecological Community (CPEEC). It is remnant Shale Plains Woodland dominated by Eucalyptus moluccana and E. tereticornis".

Clause 9(2) of SEPP No.19 requires a consent authority to consider the following prior to issuance of development consent;

- (c) the need to retain any bushland on the land,*
- (d) the effect of the proposed development on bushland zoned or reserved for public open space purposes and, in particular, on the erosion of soils, the siltation of streams and waterways and the spread of weeds and exotic plants within the bushland, and*
- (e) any other matters which, in the opinion of the approving or consent authority, are relevant to the protection and preservation of bushland zoned or reserved for public open space purposes.*

The ecological assessment undertaken by Cumberland Ecology at **Annexure 6** has considered the impact of the proposal pursuant to SEPP No.19 and concludes the following:

The majority of the proposed development will occur in areas of garden/landscaping and approximately 0.07 ha of this vegetation will be removed. The majority of the Cumberland Plain Woodland occurring on the subject site will be retained, and approximately 0.004 ha of this community will be removed, comprising two trees on the edge of the existing patch of this woodland. The proposed development is considered unlikely to have a significant impact on any of the threatened species or ecological communities occurring, or that have the potential to occur within the subject site. Therefore, a Species Impact Statement or further ecological assessments are not required.

Although 0.004 ha of CPW will be removed, this comprises only two individuals from the edge of the patch. The CPW in the subject site consists only of canopy trees over a mown understorey and as such it has minimal conservation significance for this community. The majority of the patch will be retained and the loss of the individual canopy trees is not considered likely to have a significant impact on this community.

A Species Impact Statement or further ecological assessments are not required

5.4.2 SEPP (Vegetation in Non-Rural Areas) 2017

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 applies to land in the Fairfield Local Government area zoned for urban purposes including the R2 Low Density Residential Zone that is applicable to the subject site. This SEPP replaces Clause 5.9 of the FLEP 2013 and advises that a person must not clear vegetation in any non-rural area of the State to which Part 3 applies without the authority conferred by a permit granted by the council under that Part.

Clause 26 of the SEPP advises that:

(1) A development control plan that is in force on the commencement of this Policy and that relates to the vegetation for which a permit or development consent is required to clear the vegetation is taken, on that commencement, to be a development control plan for the purposes of this Policy (except to the extent that it is inconsistent with this Policy).

Accordingly, the Tree Protection provisions at **3.2 Preservation of Trees or Vegetation** in the Fairfield DCP 2013 continue to apply to the development pursuant to the SEPP. As previously discussed at 4.6 of this report, the subject site contains 35 trees, and the application proposes to remove 28 trees. This includes two *Eucalyptus moluccana* grey boxes (T5 and T10) which is supported by the consultant arborist and ecologist.

5.4.3 State Environmental Planning Policy No. 55 - Remediation of Land

State Environmental Planning Policy No.55 – Remediation of Land provides for a statewide planning approach to the remediation of contaminated land. Clause 7 of SEPP 55A states the following:

"(1) A consent authority must not consent to the carrying out of any development on land unless:

- (a) it has considered whether the land is contaminated, and*
- (b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
- (c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose"*

The s10.7 planning certificate identifies the potential for some land filling. Refer s10.7 certificate issued 19-3-18 at **Annexure 17**. A Preliminary Site Investigation (PSI) which includes soil sampling and analysis has been prepared by Douglas Partners at **Annexure 12**. Key extracts are below;

A review of historical aerial photographs from 1930, 1951, 1961, 1970, 1986, 1994, 2005 and 2017 was undertaken to gain an understanding on the likely historical use of the site and hence the potential for contaminating activities to have impacted the site. Extracts from these photographs are shown in Appendix C and are summarised below.

1930 - The photograph shows the majority of the site to be vacant and likely used for agricultural (grazing) purposes. This was consistent with land use in the area. Some trees occupied the section of the site adjacent to Quarry Road which was also present.

1951 – No significant changes appear to have occurred on the site. The land use in the area is still rural although more structures (houses and shed) are now present.

1961 - Two new structures (possibly a shed and house) extend onto the site across the southern boundary, whilst tree coverage on the northern section of the site has become more prevalent. Additional residential houses are present on the adjacent properties.

1970 - No significant changes appear to have occurred on the site. The yard and structures on the neighbouring property to the east are no longer present. A horse training track has been constructed on the property to the south-east.

1986 - The site has been redeveloped with the existing building present. The rural use in the area is being replaced by new low residential housing developments, most notably on the adjacent properties to the east and south.

1994, 2005 and 2017 - No significant changes appear to have occurred on the site since the 1986 photograph. The surrounding area has continued to be developed, primarily with residential housing, whilst the existing religious buildings have been constructed on the property to the west.

In summary the aerial photographs do not indicate any significant contamination risk from historical uses of the site, although it is noted that structures from the 1960's and 1970's were demolished prior to the 1986 photograph. Therefore, there is the potential, if inappropriate demolition (and disposal) practices were implemented, for hazardous building materials (in particular asbestos) to be present in the fill due to these former structures.

...

This PSI comprised a review of site history, site walkover and a limited intrusive soil investigation to provide information on the potential of contamination of the site for the proposed facility upgrade.

Although asbestos was not observed during the investigation, it is not uncommon to find hazardous materials in soils due to past demolition (and disposal) practices associated with older structures and works (i.e. pre-1990). The risk associated with the uncovering of asbestos in soil is not considered to be a significant concern for the site given the results reported herein. Moreover, any such impact (if encountered) would be expected to be associated with the shallow filling which could be addressed by removal of the impacted filling from the site. Therefore, DP recommends the incorporation of an unexpected finds protocol (UFP) in the works management plan, so a strategy for asbestos management (or other unexpected finds) is established prior to commencement of works.

Based on the results presented, it is considered that the site is unlikely to be impacted by widespread or significant contamination in soil or groundwater and that the soils are suitable for re-use on site for the proposed land use as an aged care facility.

Based on the field and laboratory results, the brown silty clay, clay and sandy silt topsoil and filling are preliminary classified as General Solid Waste (non-putrescible). The natural brown and red silty clay clay and clayey silt and the underlying brown and grey shale and siltstone bedrock have a preliminary classification of VENM.

Given the preliminary nature of the assessment, prior to off-site disposal the soils are to be inspected (and sampled if required) by an appropriately qualified Environmental Consultant to confirm the above classifications. As a minimum this should constitute an in situ investigation using test pits, or a detailed examination of the soils in stockpile following excavation.

Prior to bulk excavation of soils along the western boundary behind the retaining wall, the soils in question should be assessed for suitability for re-use on site or assessed with respect to the NSW EPA Waste Classification Guidelines (2014) to confirm their waste classification prior to off-site disposal.

If during construction materials not outlined herein or displaying signs of environmental concern (e.g. asbestos, odours, staining) are encountered, these are to be segregated, stockpiled and reassessed prior to off-site disposal.

On the basis of the investigation findings, it is considered that the site can be rendered suitable for the proposed aged care facility development, subject to the findings of the above recommendations, and the implementation of any remedial actions during construction (if required).

5.4.4 Greater Metropolitan REP No 2— Georges River Catchment

The proposed development is considered to satisfy the SEPP principles in the following manner:-

- the proposed development is not inconsistent with the aims, objectives and planning principles of the deemed SEPP; and
- the stormwater system for the proposed development will not permit sediment into the Georges River, thus reducing the impacts on the Georges River and its tributaries.

5.4.5 State Environmental Planning Policy No 64—Advertising and Signage

SEPP 64 was gazetted on 16 March 2001 and aims to ensure that outdoor advertising is compatible with the desired amenity and visual character of an area, provides effective communication in suitable locations and is of high quality design and finish

Clause 8 of SEPP64 states the following:

A consent authority must not grant development consent to an application to display signage unless the consent authority is satisfied:

- (a) that the signage is consistent with the objectives of this Policy as set out in clause 3 (1) (a), and*
- (b) that the signage the subject of the application satisfies the assessment criteria specified in Schedule 1.*

The following table outlines the manner in which the proposed signage addresses the assessment criteria of SEPP64.

Consideration	Comment
1 Character of the area	
Is the proposal compatible with the existing or desired future character of the area or locality in which it is proposed to be located?	The sign adjacent to the driveway entry replaces a similar building identification sign and is compatible with the existing character of the area or locality which includes churches and schools which require identification signage.
Is the proposal consistent with a particular theme for outdoor advertising in the area or locality?	Yes
2 Special areas	
Does the proposal detract from the amenity or visual quality of any environmentally sensitive areas, heritage areas, natural or other conservation areas, open space areas, waterways, rural landscapes or residential areas?	The proposed signage at the Quarry Road frontage will not detract from the visual quality of the area which comprises a mix of low density, medium density housing and a church. The proposed wall signage to be affixed to the northern wall of the proposed RACF is internal within the site and will not be visually dominant on the streetscape.

3 Views and vistas	
Does the proposal obscure or compromise important views?	No
Does the proposal dominate the skyline and reduce the quality of vistas?	No
Does the proposal respect the viewing rights of other advertisers?	Yes
4 Streetscape, setting or landscape	
Is the scale, proportion and form of the proposal appropriate for the streetscape, setting or landscape?	The proposed scale of the signage is appropriate in relation to the streetscape. Its purpose is to provide visual clues to visitors as the battleaxed nature of the allotment means that the building itself is not overly visible when arriving by car along Quarry Road.
Does the proposal contribute to the visual interest of the streetscape, setting or landscape?	The proposed signage will be integrated with landscaping so that it will contribute to the visual interest of the streetscape.
Does the proposal reduce clutter by rationalising and simplifying existing advertising?	The proposal for signage is similar to the existing RACF signage.
Does the proposal screen unsightliness?	NA
Does the proposal protrude above buildings, structures or tree canopies in the area or locality?	No
Does the proposal require ongoing vegetation management?	No
5 Site and building	
Is the proposal compatible with the scale, proportion and other characteristics of the site or building, or both, on which the proposed signage is to be located?	The proposed scale of the signage is modest having regard to the larger scale of the new RACF.
Does the proposal respect important features of the site or building, or both?	NA
Does the proposal show innovation and imagination in its relationship to the site or building, or both?	The proposed signage is suitable and provides clear guidance to visitors where the car entry to the site is and then the pedestrian entrance to the RACF reception.
6 Associated devices and logos with advertisements and advertising structures	
Have any safety devices, platforms, lighting devices or logos been designed as an integral part of the signage or structure on which it is to be displayed?	Any logo will be incorporated into the signs. Both signs are illuminated by up-lighting as staff/visitors may arrive after dark and the battleaxed entry with 40m building setbacks may be less visually obvious at the street frontage.
7 Illumination	
Would illumination result in unacceptable glare?	The proposed Quarry Road signage is "up-lighted" so that it is directional and wont result in unacceptable glare. The wall sign near the RACF pedestrian entrance is illuminated sufficiently to allow safe entry from the carpark but not to create unacceptable glare.

Would illumination affect safety for pedestrians, vehicles or aircraft?	Illumination will assist visitors to ascertain the location of the building entry. As the site is battleaxed it is essential to have a clear visual cue for the entry point from Quarry Road for visitors and ambulance who may be less familiar with the site entry.
Would illumination detract from the amenity of any residence or other form of accommodation?	No
Can the intensity of the illumination be adjusted, if necessary?	Yes
Is the illumination subject to a curfew?	No
8 Safety	
Would the proposal reduce the safety for any public road?	No
Would the proposal reduce the safety for pedestrians or bicyclists?	No
Would the proposal reduce the safety for pedestrians, particularly children, by obscuring sightlines from public areas?	No

In summary, the proposed signage is consistent with the aims and objectives of Clause 3 of SEPP64 and as such, is supported.

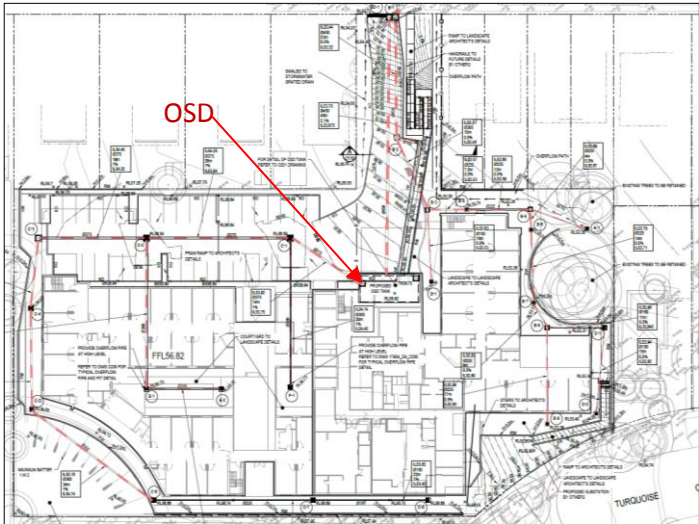
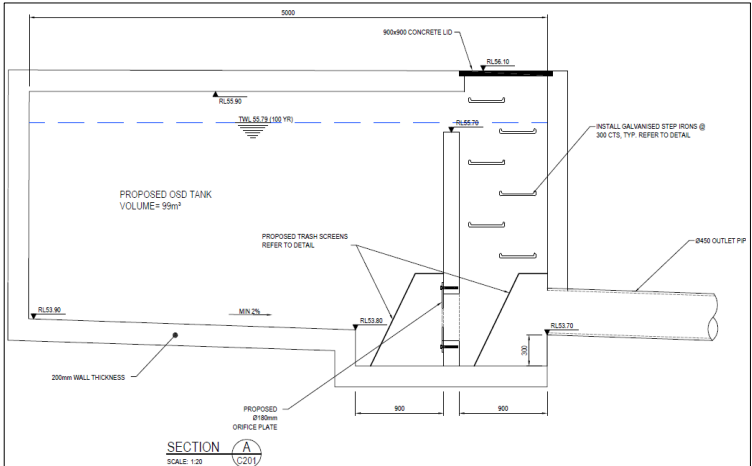
5.5 Fairfield City Wide Development Control Plan 2013

The Fairfield City Wide Development Control Plan came into effect 31 May 2013 and supplements the statutory provisions contained in Fairfield Local Environmental Plan 2013.

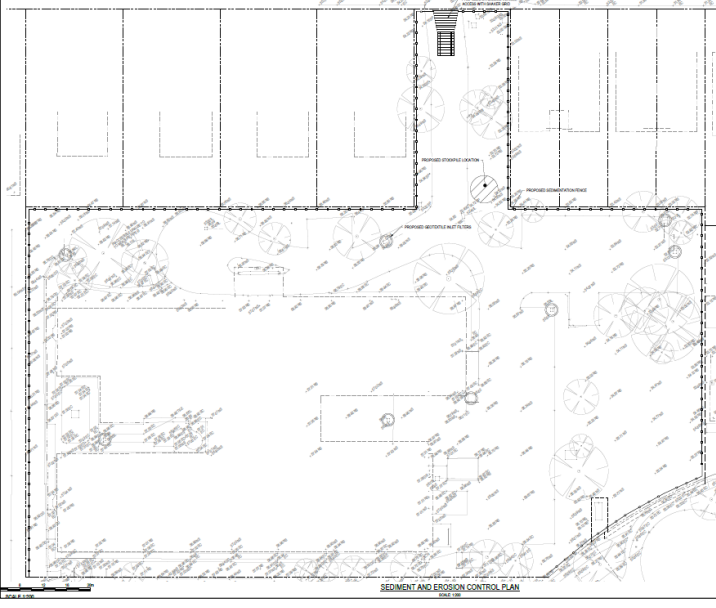
Fairfield City Wide DCP 2013 does not contain any provisions which directly relate to the development of a "Residential Care Facility". The DCP includes general provisions relating to stormwater/flood management, heritage, parking, trees, and landscaping. Where there is an inconsistency with an application lodged pursuant to SEPP Seniors, the DCP provisions are not applied.

The relevant chapters from the DCP include:

- Chapter 2 – Development Application Process
- Chapter 3 – Environmental Management and Constraints
- Chapter 12 – Car Parking, Vehicle and Access Management

FAIRFIELD DCP PROVISION	PROPOSED/ PROVIDED
<p>2.5.2 Structural details, external finishes and materials and building specifications. Provide details of the development including:</p> <ul style="list-style-type: none"> • Structural details • External finishes and materials • Building specifications 	<p>External Materials and Finishes comprise a mixture of bricks and light weight cladding finishes. Details are provided at Annexure 2.</p>
<p>2.5.4 Drainage Concept Plan Drainage Concept Plans are required for all proposed Developments not located within Flood Prone Land. The following matters will be considered when assessing Drainage Concept Plans</p> <ul style="list-style-type: none"> • Changes in site levels shall not cause ponding/ backwater effects on upstream properties • Diversion of flows from one drainage catchment to another will not be permitted in most circumstances • Any development shall not concentrate the overland flow of storm water onto an adjoining property 	<p>A Drainage concept plan and Drainage Design Statement is provided at Annexure 4. Refer extract below;</p>  <p>Source: Henry and Hymas</p>
<p>2.5.5 On Site Detention (OSD) Is required for development including senior housing if it is likely to produce significant storm water runoff.</p>	<p>OSD is proposed on the northern side of the new RACF , as indicated on the drainage concept plan provided at Annexure 4. Refer OSD section below;</p>  <p>Source: Henry and Hymas</p>

<p>2.5.6 Waste Management Plan If any demolition/construction is being undertaken, a Waste Management Plan is required to provide information about the volume and type of waste to be generated, how waste is to be stored and treated on site, and waste disposal.</p>	<p>A Waste Management Plan (demolition and construction) and a Waste Management Operational Plan is provided at Annexure 11.</p>
<p>2.5.10 Acoustic Reports – Rail, Road and Aircraft Development near a rail corridor or major road – Aircraft Noise in Horsley and Cecil Park -</p>	<p>The site is not located near a major road, and is not located in Horsley or Cecil Park and accordingly an Acoustic Report is not required per 2.5.10 of the FDCP.</p> <p>Notwithstanding, an acoustic report has been prepared by Acoustic Logic which addresses acoustic provisions including plant noise. Refer to Acoustic Report at Annexure 14</p>
<p>2.5.11 Landscape Plan Is to be included for all development which provides information detailing trees to be removed, existing and proposed planting, retaining walls, garbage enclosures, detention basins, fences and paving. (See Appendix F of Fairfield City Wide DCP 2013).</p>	<p>A Landscape Plan and Design Statement is provided at Annexure 3.</p>
<p>3.6 Land Contamination All development applications (except for change of use and occupation DA's) must submit information detailing whether there is evidence to suggest that the site of the proposed development may be contaminated. Should the preliminary investigation fail to clearly demonstrate that the land is suitable for its proposed use, a more detailed assessment and evaluation is to be undertaken.</p>	<p>A Geotechnical Report and Preliminary Contamination Assessment are provided at Annexure 12.</p>
<p>3.12 Erosion and Sediment Control Erosion and sediment control applies to all sites where works over the site will or may have the potential to involve:</p> <ul style="list-style-type: none"> • Disturbance of the soil surface or placement of fill • Changes in the rate and/or volume of run-off from the site 	<p>Erosion and Sediment control measures are able to be implemented as part of the construction process and would be addressed as a condition of development consent. An erosion and sediment control plan prepared by Henry & Hymas civil engineers is provided at Annexure 4. Extract is below;</p>

<ul style="list-style-type: none"> • Stockpiling of soil, sand or other erodible material. 	
<p>12.1.1 Car Parking Rates Residential Aged Care Facility:- Parking as per SEPP (Housing for Seniors or People with a Disability) 2004 viz:</p> <ul style="list-style-type: none"> 1 space for each 10 beds (each space suitable for a driver with a disability) plus 1 space for each 2 employees on site at same time plus 1 space for ambulance 	<p>The proposal provides 15 visitor spaces and 18 staff spaces = total 33 spaces + ambulance space which complies with SEPP Seniors and DCP provisions.</p> <p>Refer to Traffic and Parking Report prepared by Coston Budd at Annexure 8.</p>
<p>12.2.8 Parking Location and Layout</p> <ul style="list-style-type: none"> a) Car parks for commercial development should be designed to incorporate all the spaces in one location so that the amount of access roadway is minimized and occupied for a preferable use such as landscaping or floor space. b) When site conditions permit, parking should be accessed from a rear lane c) Developers should consider construction of basement parking so that ground level pedestrian access to customers/occupiers can be maintained. Such treatment would also allow use of the space for landscaping or provision of open space/recreation facilities. 	<p>The proposal provides at grade parking which is the same as the current RACF. However, the spaces are provided in the same location at the NW part of the site so that it minimizes the paved area.</p> <p>Refer to Traffic and Parking Report prepared by Coston Budd at Annexure 8.</p>

<p>12.2.11 Carpark Landscaping Landscaping in parking areas is required to provide visual relief from the expanse of hard surfaces; screen the car park from surrounding areas, provide shade, assist in runoff; and provide cover over hard surfaces to reduce heat and reflection and limit the impact of inclement weather.</p>	<p>The subject site is a battle-axed allotment with secondary frontage to Turquoise Crescent. The carpark is located internally within the site in a similar location to the existing RACF carpark on the northern side of the site. Landscaping is provided to the perimeters to facilitate shading and improve visual amenity.</p>
<p>12.2.16 Carpark Lighting The safety of vehicles and occupants in a car park can be enhanced through the use of appropriate illumination. Exterior lighting should be provided in accordance with Australian Standards 1158 – Lighting for Roads and Public Spaces</p>	<p>Lighting is proposed to be designed and located to reduce any glare for the residents and light spillage into the adjoining neighboring properties. Low level bollards (20 lux to comply with SEPP seniors) are proposed in the exterior carpark, driveway and pathway.</p>

5.6 Fairfield City Council – Section 94A Plan 2011

The Fairfield City Council Section 94A Plan (No Section 7.12) applies the subject proposal as the operators are not a “social housing provider” as defined under SEPP Seniors. The S94A Plan requires a cost estimate report to be submitted with the application in accordance with the Plan. This is separately attached and accompanies the development application.

5.7 Section 4.15 of the EP&A Act – Evaluation

The matters for consideration under Section 4.15 of the Environmental Planning and Assessment Act, 1979 are assessed below.

a. The Provisions of

- (i) any environmental planning instrument and
- (ii) draft LEP

The proposal is subject to the provisions of the State Environmental Planning Policy Seniors and the Fairfield Local Environmental Plan 2013 and the relevant supporting policies. It is considered that the provisions of these environmental planning instruments have been satisfactorily addressed within this report and that the proposal achieves compliance with their provisions.

The development has also assessed and is satisfactory in relation to:

- State Environmental Planning Policy No. 19 - Bushland in Urban Areas
- SEPP (Vegetation in Non-Rural Areas) 2017
- State Environmental Planning Policy No. 55 - Remediation of Land

- Greater Metropolitan Regional Environmental Plan No 2— Georges River Catchment
- State Environmental Planning Policy No.64 – Advertising and Signage.

There are no other environmental planning instruments or draft instruments applying to the development.

(iii) any development control plan

The following Development Control Plan have been considered in this application:-

- Fairfield Development Control Plan 2013.

The development has been designed to achieve the aims and objectives of Council's Development Control Plan where relevant. The relevant sections of FDCP are addressed at Section 5.5 of this Statement.

(iiia) any planning agreement that has been entered into under section 7.4 or any draft planning agreement Not applicable

(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph Not applicable

(v) repealed

b. The likely impacts of that development , including environmental impacts on both the natural and built environments

The subject application seeks to redevelop an existing 100 bed RACF facility to provide a new 151 bed facility within 132 bedrooms. The design accommodates a number of site constraints including;

- Battleaxed lot 16.4m width at the street frontage which requires a compact vehicular/pedestrian entry, provision of essential services, signage and landscaping.
- The site predominantly falls to the north so that drainage has been designed to fall to either Quarry Road or Turquoise Crescent to mitigate the need for drainage easements.
- Site contains CPW vegetation in the north-eastern corner. The proposal has been designed to retain 4 of the 6 trees and to ensure their on-going protection during/post construction
- The site is located to the NE of Bossley Road Reserve which requires suitable setbacks and design treatment to mitigate bushfire risk.
- The combination of site topography, drainage level requirements and the need to maintain level floors within the aged care facility result in a minor breach of building height on the eastern elevation. The setbacks incorporated to accommodate the CPW vegetation result in reduced shadow impact on the neighbouring residence at No 25 Turquoise Crescent.
- The proximity and potential for impacting on low density housing to the north-west is mitigated by generous setbacks to the north for both floor levels. Privacy of dual occupancy development to the NE is protected by retention of trees in the NE corner and a design layout that orients windows so that they do not directly overlook Quarry Road neighbours' rear yards.

c. The suitability of the site for the development

The site has a long-established use as an aged care facility with vehicular access off Quarry Road. The battle-axed shape of the block and end cul-de-sac location minimises visibility to Quarry Road and Turquoise Crescent. The bushfire impacts from the SW can be satisfactorily mitigated by increased setbacks and incorporating appropriate design/materials/landscaping. The proposal has in principle support of the Rural Fire Service (issued 14-5-18) and will result in greater setbacks and a more robust development than the current RACF. The site contains a small area of CPW vegetation (Grey Box) at the NE corner, most of which can be retained and incorporated as a feature of the dementia residents' garden. The site has no heritage, riparian or flood related constraints. Accordingly, the site is considered highly suited to the proposed development having suitable dimensions to accommodate generous building setbacks, landscaping and on-site parking/access.

d. Any submissions made in accordance with this Act or the Regulations

Any submissions made during the course of notification of this application will be taken into account by the Council in their assessment of the application. The applicant is willing to respond to such submissions accordingly

e. The public Interest

The proposal is consistent with State Government objectives to provide a variety of housing for seniors requiring high care. The Council's planning controls and further SEPP (Housing for Seniors or People with a Disability) 2004 expressly permits seniors housing on the subject site

The proposed development has been designed to minimise its visual impact in terms of visual massing and bulk and scale impacts when viewed from the adjoining properties and within the public domain

The proposal is considered to be in the public interest as it provides a significant social benefit and will assist in meeting the demand for seniors requiring high care in Bossley Park and the broader Fairfield LGA. Furthermore, the development will provide a number of employment opportunities both during construction and once operational.

The proposal will not unreasonably impact upon the environment, the established character of the locality or upon the amenity of adjoining properties and consent is therefore considered to be in the public interest

6.0 Conclusion

- 6.1 The site has a long-established use as an Aged Care Facility, and this development proposal will facilitate improved accommodation, largely with single rooms for up to 151 residents for frail aged residents including those with dementia. The lower ground floor incorporates a dementia specific wing with direct access to a dementia friendly garden. The proposed Residential Care Facility will provide an important benefit to the local community in terms of both aged care and economic benefits associated with local employment generation.
- 6.2 The design of the development is responsive to the site's constraints and improves the existing bushfire asset protection zone to the south-west and retains a group of significant Grey Box in the northeast of the site. There would be minimal streetscape impact, with the development being well setback from Quarry Road and with a variable setback to the Turquoise Crescent frontage that will be landscaped.
- 6.4 The proposal is compliant with the development standards contained in the State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004 other than a minor variation with respect additional height on the eastern part of the building. While compliance with the SEPP Building Height control for Seniors Housing in R2 zones is not numerically met, the development is supported by a Clause 4.6 variation to the height control as the variation to the planning control enables a better environmental outcome to be achieved in terms of improved bushfire setbacks and maintaining a small group of CPW Grey Box on the eastern part of the site.
- 6.5 The proposed development has high architectural and landscape design with a strong focus on retention and protection of CPW trees and neighbour trees to achieve an attractive setting for the building. Accordingly, the proposal is considered to have considerable merit and is worthy of approval.
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